

ADDENDUM NO. 2

May 15, 2024

NOTICE TO BIDDERS OF PROJECT NO. 20223 RAY WILLIAMSON POOL IMPROVEMENTS – PHASE 1

Attention is called to the following items effective per date of this addendum.

This addendum shall become part of the Contract Documents and modifies the original Bidding Documents for Project No. 20223

Bainbridge Island Metro Park & Rec District: Ray Williamson Pool Improvements

Acknowledge receipt of this Addendum by inserting its number in the space provided on the Bid Form.

Failure to do so will be subject the Bidder to disqualification.

Please incorporate the following revisions to the Specifications and Contract Drawings:

Refer to the following Attachments for descriptions of additional addenda items that pertain to this project.

ATTACHMENTS

1. Sheet A-0.1 Site Plan	1 page
2. Sheet AD-1.0 Demolition Plan	1 page
3. Sheet AD-2.0 Exterior Elevation Demo	1 page
4. Sheet AD-3.3 Roof Demo Details	1 page
5. Sheet A-1.0 Floor Plan	1 page
6. Sheet A-2.0 Exterior Elevations	1 page
7. Sheet A-2.1 Exterior Elevation	1 page
8. Sheet A-4.4 Roof Details	1 page
9. ASK-1	1 page
10. ASK-2	1 page
11. ASK-3	1 page
12. ASK-4	1 page
13. SSK 1.1	1 page
14. SSK 1.2	1 page
15. SSK 1.3	1 page
16. Sheet FD1.0 First Floor Fire Protection Demolition Plan	1 page
17. Sheet F1.0 First Floor Fire Protection Plan	1 page
18. Sheet F1.1 Fire Protection Roof Plan	1 page

CHANGES TO SPECIFICATIONS:

DIVISION 00:

S1: Under SECTION 00 41 00 Bid Form, under “Time for Completion”:

DELETE “226 calendar days” and **REPLACE** with “**315 calendar days**”.

S2: Under SECTION 01 50 00 Temporary Facilities and Controls, **ADD 1.04 to read:**

1.04 TEMPORARY FIRE PROTECTION AND FIRE WATCH

- A. When, as part of a modernization project, the building’s fire protection/life safety system is placed out of service and affects any occupied portion of an existing building undergoing renovation, the Owner and Architect /Engineer shall be notified as early as possible to coordinate a planned impairment and fire watch with the Contractor for both Ray Williamson Pool and Nakata pool, as the existing fire protection systems are connected.
- B. A Fire Watch is required when fire protection systems are impaired, whenever the building is occupied.
 - 1. This is a coordinated effort in which the Owner and Contractor personnel may share duties in performing a fire watch.
 - 2. Fire watch personnel shall continuously patrol all areas of the building where the fire protection system is impaired, or the entire building if the fire alarm system is impaired. All applicable areas of the building shall be visited at least once every 15 minutes.
 - 3. Identify any fire, life, or property hazards.
 - 4. Notify the local fire department if a fire is discovered by calling 9-1-1 with the exact address and type of emergency.
 - 5. Notify occupants of the facility of the need to evacuate. If the sirens or public address function of the alarm are still functional, used them to assist with evacuation of the building.
 - 6. Determine at least one means of direct communication with the fire department.
 - 7. Maintain a log of fire watch activities which indicates: address of the facility, description of fire watch duties (eg: patrol route, systems to check), list of persons conducting patrol, record of communication(s) to the fire department and monitoring company.
 - 8. Have knowledge of the location and use of fire protection equipment such as fire extinguishers.
- C. Provide and maintain fire extinguishers in the construction areas and other areas of the building during occupation.
- D. Building occupants must be notified of the impairment and of their responsibility to call 9-1-1 in case of fire and postings placed. These conditions are required during the times affected building is open for general occupancy, open to the public, or as otherwise required by code official.
 - 1. Postings shall state (modify as needed): WARNING, FIRE ALARM (OR SPRINKLERS) IS CURRENTLY INOPERABLE. A FIRE WATCH IS BEING CONDUCTED. FIRE WATCH PERSONNEL WILL NOTIFY YOU BY _____ (means of notification) IN THE EVENT THAT BUILDING EVACUATION IS REQUIRED.
- E. Cancel the fire watch once the fire protection system has been restored to service. Contact the fire department, and remove all postings.

CHANGES TO DRAWINGS:

A: ARCHITECTURAL

1. **DELETE** sheet A-0.1 Site Plan and **REPLACE** with sheet A-0.1 Site Plan in its entirety with revised Delivery and Access Route and Lay Down Area location, attached in Addendum No. 2.

2. **DELETE** sheet AD-1.0 Demolition Plan and **REPLACE** with sheet AD-1.0 Demolition Plan in its entirety, attached in Addendum No. 2.

ADD note No. 5 to General Demolition Notes:

5. COORDINATE WITH OWNER TO SHUT DOWN THE HVAC SYSTEMS, THE CONTRACTOR SHALL COVER VENTS/ LOUVERS PRIOR TO DEMOLITION ACTIVITIES.

ADD Special Note:

THE NAKATA POOL WILL BE IN OPERATION DURING THE CONSTRUCTION PERIOD FOR THE RAY WILLIAMSON POOL. NO VIDEOS OR PHOTOGRAPHS ARE PERMITTED OF THE NAKATA POOL OR ITS PREMISES AND ITS USERS AT ANY TIME. THE CONTRACTOR AND ALL OF THEIR PERSONNEL ARE RESTRICTED TO THE RAY WILLIAMSON POOL SITE, UNLESS ESCORTED OR GIVEN PERMISSION TO ENTER THE NAKATA POOL SITE.

ADD Keynote No. 20 to Demolition Keynote Legend:

20. INSTALL PHYSICAL BARRIER AT THE NAKATA POOL AND RAY WILLIAMSON TRANSITION POINT. THE BARRIER MUST PROVIDE VISUAL BLOCKAGE BETWEEN THE TWO POOLS. CONTRACTOR MAY INSTALL VISUAL BARRIER TO (E) STOREFRONT; ANY DAMAGES AND REPAIRS TO THE STOREFRONT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR REPAIR/REPLACEMENT.

ADD Keynote No. 21 to Demolition Keynote Legend:

21. PROTECT POOL WITH AN ANCHORED COVER WITH BREATHABLE KNITTED FABRIC. COVER SYSTEM MUST ALSO CONFORM WITH SAFETY REQUIREMENTS AND PREVENT ENTRAPMENT. ADD ADDITIONAL PROTECTION MATERIAL SUCH AS VISQUENE TO PREVENT DIRT AND DEBRIS FROM ENTERING THE POOL. BASIS OF DESIGN: Covers&all Rectangular Pool Cover – Center Steps 47’x78’ (F.V.) or approved equal.

ADD Hazardous Materials Abatement Notes:

1. PERFORM ALL ACTIVITIES IMPACTING REGULATED AND/OR HAZARDOUS MATERIALS IN ACCORDANCE WITH SPECIFICATION SECTION 01 11 10 SUMMARY OF HAZARDOUS MATERIALS WORK AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
2. PERFORM ALL ACTIVITIES IMPACTING ASBESTOS-ASBESTOS CONTAINING MATERIALS ACCORDING TO SPECIFICATION SECTION 02 82 00, ASBESTOS ABATEMENT, AND ALL APPLICABLE REGULATIONS AS NECESSARY TO ACCOMPLISH THE WORK.
3. REMOVE AND DISPOSE OF APPROXIMATELY 210 SF OF ASBESTOS-CONTAINING TANK INSULATION ASSOCIATED WITH HOT WATER TANK IN BASEMENT MECHANICAL ROOM. NOT SHOWN.

4. REMOVE AND DISPOSE OF APPROXIMATELY 50 EA OF ASBESTOS-CONTAINING EXPOSED HARD MUDDERED FITTING INSULATION ASSOCIATED WITH NON-ACM FIBERGLASS STRAIGHT-RUN INSULATION IN MECHANICAL ROOMS. NOT SHOWN.
 5. REMOVE AND DISPOSE OF APPROXIMATELY 50 EA OF ASBESTOS-CONTAINING CONCEALED HARD MUDDERED FITTING INSULATION ASSOCIATED WITH NON-ACM FIBERGLASS STRAIGHT-RUN LOCATED IN WALL AND CEILING CAVITIES THROUGHOUT. NOT SHOWN.
 6. REMOVE AND RECYCLE APPROXIMATELY 100 FOUR-FOOT AND 50 EIGHT-FOOT FLOURESCENT LIGHT TUBES LOCATED IN VARIOUS AREAS THROUGHOUT THE BUILDING. COORDINATE WITH ELECTRICAL.
 7. INCLUDED IN THE WORK IS THE REMOVAL, HANDLING, PACKAGING, TRANSPORT AND PROPER DISPOSAL OF UP TO 20 PCB-CONTAINING LIGHT FIXTURE BALLASTS AS ENCOUNTERED THROUGHOUT THE BUILDING.
3. **DELETE** sheet AD-2.0 Exterior Elevation Demo and **REPLACE** with sheet AD-2.0 Exterior Elevation Demo in its entirety, attached in Addendum No. 2.
DELETE Keynote No. 7 on Demo Exterior Keynote Legend and **REPLACE** with Keynote No. 7.
7. DEMOLISH (E) T1-11 SIDING.
4. **DELETE** sheet **AD-3.3** Roof Demo Details and **REPLACE** with sheet **AD-3.3** in its entirety, attached in Addendum No. 2.
ADD note to details 9/AD-3.3, 11/AD-3.3 and 12/AD-3.3: DEMO (E) T1-11 SIDING.
5. **DELETE** sheet A-1.0 Floor Plan and **REPLACE** with sheet A-1.0 Floor Plan in its entirety, attached in Addendum No. 2.
ADD Special Note:
THE NAKATA POOL WILL BE IN OPERATION DURING THE CONSTRUCTION PERIOD FOR THE RAY WILLIAMSON POOL. NO VIDEOS OR PHOTOGRAPHS ARE PERMITTED OF THE NAKATA POOL OR ITS PREMISES AND ITS USERS AT ANY TIME. THE CONTRACTOR AND ALL OF THEIR PERSONNEL ARE RESTRICTED TO THE RAY WILLIAMSON POOL SITE, UNLESS ESCORTED OR GIVEN PERMISSION TO ENTER THE NAKATA POOL SITE.
- DELETE** Keynote No. 1 on Keynote Legend and **REPLACE** with Keynote No. 1.
1. CLEAN EFFLORESCENCE ON INTERIOR AND EXTERIOR OF BRICK WALL. REPAIR (E) DAMAGED BRICK PER STRUCTURAL. APPLY SEALANT AT EXTERIOR AND INTERIOR BRICK WALL.
- ADD** Keynote No. 14 to Keynote Legend:
14. INSTALL PHYSICAL BARRIER AT THE NAKATA POOL AND RAY WILLIAMSON TRANSITION POINT. THE BARRIER MUST PROVIDE VISUAL BLOCKAGE BETWEEN THE TWO POOLS. CONTRACTOR MAY INSTALL VISUAL BARRIER TO (E) STOREFRONT; ANY DAMAGES AND REPAIRS TO THE STOREFRONT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR REPAIR/REPLACEMENT.
- DELETE** Keynote No. 3.
3. REPAIR SPALLING AND DELAMINATED CONCRETE AT FILTER ROOM, REF STRUCTURAL.
- DELETE** 2/A-1.0 FILTER ROOM BASEMENT PLAN

6. **DELETE** sheet A-2.0 Exterior Elevations and **REPLACE** with sheet A-2.0 Exterior Elevations in its entirety, attached in Addendum No. 2.
DELETE Keynote No. 8 on Elevation Keynote Legend and **REPLACE** with Keynote No. 8.
8. FURNISH AND INSTALL NEW T1-11 SIDING AND COUNTERFLASHING.
7. **DELETE** sheet A-2.1 Exterior Elevation and **REPLACE** with sheet A-2.1 Exterior Elevation in its entirety, attached in Addendum No. 2.
DELETE Keynote No. 8 on Elevation Keynote Legend and **REPLACE** with Keynote No. 8.
8. FURNISH AND INSTALL NEW T1-11 SIDING AND COUNTERFLASHING.
8. **DELETE** sheet A-4.4 Roof Details and **REPLACE** with sheet A-4.4 Roof Details in its entirety, attached in Addendum No. 2.
ADD note to details 6/A-4.4 and 7/A-4.4 T1-11 SIDING.
9. Sheet A-4.3 Roof Details
DELETE detail 4/A-4.3 Natatorium Clerestory – CPI Uniquad and **REPLACE** with ASK-1 to with Aluminum Purlin clip, attached in Addendum No. 2.
10. Sheet AD-3.2 Roof Demo Details
DELETE detail 3/AD-3.2 (E) Roof to Wall at Siding - Demo and **REPLACE** with ASK-2 with note DEMO (E) T1-11 SIDING, attached in Addendum No. 2.
11. Sheet AD-4.3 Roof Details
DELETE detail 3/A-4.3 Roof to Wall at Siding and **REPLACE** with ASK-3 with note DEMO (E) T1-11 SIDING, attached in Addendum No. 2.
12. Sheet AD-4.6 Roof Details
DELETE detail 7/A-4.6 Mechanical Wall Penetration and **REPLACE** with ASK-4 with note T1-11 SIDING and FLASHING MEMBRANE, attached in Addendum No. 2.

S: STRUCTURAL

1. Sheet S-3.2 Details **DELETE detail** 5/S-3.2 Exterior 2"x8" Hollow Core Brick/Masonry Repair and **REPLACE** with SSK-1.1, attached in Addendum No. 2.
ADD note ALLOW FOR REPAIR OF 120 BRICK FACES TOTAL IN PROJECT, INCLUSIVE OF EXTERIOR & INTERIOR PORTIONS OF BUILDING (CONFIRM LOCATIONS WITH PROJ. REP.) PROVIDE CLEANING OF LAITANCE AND STAINS AT THE ENTIRE EXTERIOR AND EXPOSED SURFACES OF THE INTERIOR OF BRICK.PROTECT EXISTING GAS PIPING, WHERE OCCURS, AS SHOWN ON MEP DRAWINGS.
2. Sheet S-3.2 Details **DELETE detail** 7/S-3.2 K-Web Mortar Joint Repair Detail and **REPLACE** with SSK-1.2, attached in Addendum No. 2.
ADD note DETAIL 7 QUANTITIES: ALLOW FOR RE-POINTING OF 100% OF MORTAR JOINTS AT EXTERIOR & INTERIOR OF BLDG. ALLOW FOR REPAIR OF K-WEB AT EXTERIOR OF BUILDING AS FOLLOWS:
WEST ELEVATION: 100%
SOUTH ELEVATION: 50% (CONFIRM LOCATIONS WITH PROJ. REP.)

EAST ELEVATION: 50% (CONFIRM LOCATIONS WITH PROJ. REP.)

3. Sheet S-1.0 1st Floor Plan

DELETE keynote No.3 EXCAVATE DELAMINATED CONCRETE AND CONCRETE WITH CORRODED REBAR, see SSK-1.3 attached in Addendum No. 2.

F: FIRE PROTECTION

1. **DELETE** sheet FD1.0 First Floor Fire Protection Demolition Plan and **REPLACE** with sheet FD1.0 First Floor Fire Protection Demolition Plan in its entirety, attached in Addendum No. 2.

DELETE plan note on 2/FD1.0 on First Floor Fire Protection Demolition Plan and **REPLACE** with note.

FIRE SPRINKLERS IN THIS AREA TO BE REVISED TO MEET NEW ROOM LAYOUTS PER ARCHITECTURAL. REMOVE ALL SPRINKLERS AND SPRINKLER PIPE IN THIS AREA. LEAVE POC FROM MAIN RISER SUITABLE FOR RE-USE.

2. **DELETE** sheet F1.0 First Floor Fire Protection Plan and **REPLACE** with sheet F1.0 First Floor Fire Protection Plan in its entirety, attached in Addendum No. 2.

DELETE keynote No. 2 on Sheet Keynotes and **REPLACE** with keynote No. 2.

ALL NEW SPRINKLERS AND SPRINKLER PIPE IN THIS AREA. PAINT FOR CORROSION PROTECTION PRIOR TO COVER.

3. **DELETE** sheet F1.1 Fire Protection Roof Plan and **REPLACE** with sheet F1.1 Fire Protection Roof Plan in its entirety, attached in Addendum No. 2.

DELETE keynote No. 2 on Sheet Keynotes and **REPLACE** with keynote No. 2.

ALL NEW SPRINKLERS AND SPRINKLER PIPE IN THIS AREA. PAINT FOR CORROSION PROTECTION PRIOR TO COVER.

PRE-BID MEETINGS 1 AND 2 QUESTIONS:

Q1: Will they drain the pool for painting the overhead fire lines? If a boom lift is required to paint the fire lines does the concrete floor have limitations on weight or surface protection requirements.

A1: *The pool will not be drained for overhead work. Contractor will be required to protect the pool with a cover system such as: a rectangular pool cover system by Covers&all (47'x78' field verify) or approved equal. Cover system must not allow for entrapment. Additional coverage material may be required so that debris and material such as paint flakes does not fall in to the pool basin. Refer to sheet AD1.0 this addendum. The type of boom lift/equipment used to access the fire line and existing deck load capacity can be discussed with the structural engineer during the construction phase.*

Q2: At the pre-bid walk it was discussed that a lift had been used inside this space previously. Could you provide us with the info on the lift that was used, model number, size?

A2: *BI Metro Parks personnel have used a 36ft boom lift in the natatorium deck previously. The lift must fit through double entry doors measuring 63" x 83". An example of a possible lift that may fit in the natatorium is the Atrium Manlift; however, Contractor is responsible for determining the correct size and weight of equipment that is to be used on the project site*

and shall determine means and methods for completing the Scope of Work. The Owner and A/E Team will coordinate with the Contractor as needed once construction phase commences.

Q3: The specifications don't list a division 4 Masonry for the repair work as listed on the structural pages.

A3: ***There are no Division 4 Masonry specifications, the structural repair work is noted on the structural pages.***

Q4: The areas of repairs for the existing masonry brick are not quantified and several areas are likely unforeseen. How would you like for us to price? We would recommend that the bid form provide a unit price.

A4: ***The quantities for existing masonry brick repair are noted in SSKs 1.1 and 1.2.***

Q5: The existing siding above the flat roof is peeling off of the walls and will need to be removed to replace the roof. Should replacement of the T-111 siding with new product be included in the proposal?

A5: ***Include replacement of 1500 s.f. of T-111 siding in proposal, see A-2.0.***

Q6: The contract time is listed as 226 calendar days from NTP. What about long procurement times?

A6: ***Long procurement times were considered when length of construction time was calculated. The contract time of completion is revised per this Addendum No. 2.***

Q7: The specifications and drawings show concrete repair work in this phase but at the walk thru it was discussed that it was not a part of this phase. Please clarify.

A7: ***Concrete repair work was removed in the basement. See sheet A-1.0 for concrete work in Phase 1.***

Q8: Do we demo out and replace the existing fire sprinkler piping from gridline 9A-I thru 12A-I due to the excessive rust?

A8: ***Demolish existing fire sprinkler pipes and replace as shown on sheet FD1.0 (attached).***

Q9: Are we able to disable certain construction areas of the fire sprinklers to allow for the construction to take place? The areas which need the demo work may require areas to remain unprotected by fire sprinklers for longer periods of time.

A9: ***The existing fire sprinklers in Ray Williamson Pool are connected to the Nakata Pool. A Fire Watch will be required for any down time of a fire protection system. This is detailed in Section 01 50 00 Temporary Facilities and Controls. Refer to Addendum No. 2 for temporary fire protection details.***

Q10: Is the brick sealed on both exterior and interior sides?

A10: ***Seal brick on both exterior and interior per sheet A-1.0.***

Q11: Is the chlorine gas line shown on the plans?

A11: ***The chlorine gas line is shown on sheets AD-1.0, A-6.0, PD 1.1 and MD1.1.***

Q12: Requesting that the Bidder Responsibility Criteria Division 00 be modified to read as follows.

- 1)contractor is required to have successfully completed at least 3 projects each with the contract amount of at least \$1,000,000 to \$3,000,000 within the last 10 years
- 2)provide a list of all the construction contracts \$1,000,000 to \$3,000,00 your firm has completed within the past 10 years

A12: *The request is not accepted as it was submitted after the mandatory pre-bid meetings.*

APPROVED MANUFACTURERS

The following products have been approved as manufacturers only, and not for specified products. Approval does not relieve listed manufacturers from specification requirements.

SECTION	DESCRIPTION	MANUFACTURER	COMMENTS

SITE PLAN GENERAL NOTES

1. A PORTION OF THE PARKING LOT WILL BE DESIGNATED AS A LAY DOWN AND STAGING AREA FOR THE CONTRACTOR USE. COORDINATE THIS AREA WITH THE OWNER. DO NOT BLOCK TRAFFIC FLOW THROUGH THE PARKING LOT OR ON THE STREETS. LOCATION OF CONTRACTOR TRAILER(S) AND DUMPSTER(S) WITHIN THE STAGING AREA SHALL BE COORDINATED WITH OWNER.
2. PARKING IS NOT PERMITTED ALONG THE FIRE LANE OR SIDEWALK AREAS. DAILY CONTRACTOR PARKING WILL BE IN THE DESIGNATED CONTRACTOR'S STAGING AND LAYDOWN AREA ONLY. RESTORE ANY DAMAGE TO STAGING/LOADING AREA AT THE CONCLUSION OF WORK.
3. AT ALL TIMES, CONTRACTOR TO OBSERVE AND COMPLY WITH THE DESIGNATED SPEED LIMITS POSTED ON THE PROPERTY SITE.
4. PROTECT ALL EXISTING WALKS, STEPS, PAVING, WALLS, DRIVEWAYS, TREES, AND VEGETATION. THE (E) SITE DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO PRE-MOBILIZATION CONDITION AFTER WORK IS COMPLETED. REPLACE ALL ITEMS, INCLUDING PAVING, WHOSE APPEARANCE HAS CHANGED AND/OR HAS SUFFERED ANY DAMAGE DUE TO CONSTRUCTION PROCESS AT THE CONCLUSION OF WORK.
5. CONTRACTOR TO PROTECT EXISTING LANDSCAPING ADJACENT TO THE WORK SITE, AND THAT IMPACTED BY THE DELIVERY AND REMOVAL OF MATERIAL TO THE SITE. CONTRACTOR TO PROTECT EXISTING FURNISHINGS, FIXTURES, AND EQUIPMENT FROM DAMAGE. REPLACE IN KIND ANY SUCH ITEMS DAMAGED.
6. COORDINATE ALL OPERATIONS WITH OWNER INCLUDING SITE ACCESS, MATERIALS STORING AND STAGING, INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES, TIMING OF NOISY OR DISRUPTIVE OPERATIONS. VERIFY SEQUENCE OF WORK WITH OWNER.
7. CONTRACTOR TO COORDINATE ANY WORK, AND ALL WORK INVOLVING SEPARATE CONTRACTS AND CONTRACTORS WITH BAINBRIDGE ISLAND PARKS PROJECT MANAGER.

SITE & BUILDING DATA

BUILDING NAME: BAINBRIDGE ISLAND AQUATIC CENTER
SITE ADDRESS: 8521 MADISON AVE. N
 BAINBRIDGE ISLAND, WA, 98110
ASSESSOR'S PARCEL #: 222502-4-003-2008
BUILDING AREA: NO CHANGE
PARKING: NO CHANGE
OWNER:
 Bainbridge Island Metro Park & Recreation District
 11700 Meadowmeer Circle NE
 Bainbridge Island, WA, 98110
 Contact: Matthew F. Keough
 Phone: (206)565-5658
 matt@biparks.org

LEGAL DESCRIPTION:
 RESULTANT PARCEL A OF BOUNDARY LINE ADJUSTMENT RECORDED UNDER AUDITOR'S FILE NO. 3179470 BEING THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 25, RANGE 2 EAST W.M. CITY OF BAINBRIDGE ISLAND, KITSAP COUNTY WASHINGTON, DESCRIBED AS FOLLOWS: THE SOUTH QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER AND THE SOUTH 860 FEET OF THE EAST 270 FEET OF THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER EXCEPT FOR THE SOUTH 20 FEET FOR ROAD, AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER EXCEPT THE NORTH 30 FEET FOR ROAD AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER, AND THE WEST HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; AND THE WEST HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; TOGETHER WITH THE FOLLOWING DESCRIBED PROPERTY; COMMENCING AT THE NORTHWEST CORNER OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER, THENCE EAST 330 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING EAST 300 FEET TO THE WEST MARGIN OF COUNTY ROAD; THENCE SOUTH ALONG SAID MARGIN 230 FEET THENCE NORTHWESTERLY TO A POINT WHICH IS 60 FEET SOUTH OF THE POINT OF BEGINNING; THENCE NORTH 60 FEET TO THE POINT OF BEGINNING, EXCEPT FROM THE ABOVE THE FOLLOWING DESCRIBED PROPERTY: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER, THENCE WEST 10 FEET ALONG THE SOUTH LINE OF SAID SUBDIVISION THENCE NORTH 340.00 FEET PARALLEL WITH THE EAST LINE OF SAID SUBDIVISION; THENCE EAST 10 FEET TO THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, THENCE SOUTH 340 FEET ALONG SAID EAST LINE AND THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22 TO THE POINT OF BEGINNING. >>>EXCEPT FOR THAT PORTION CONVEYED TO THE CITY OF BAINBRIDGE ISLAND FOR RIGHT OF WAY UNDER AUDITOR'S FILE NO. 200106050001, RECORDS OF KITSAP COUNTY, WASHINGTON.

RAY WILLIAMSON POOL IMPROVEMENTS
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110

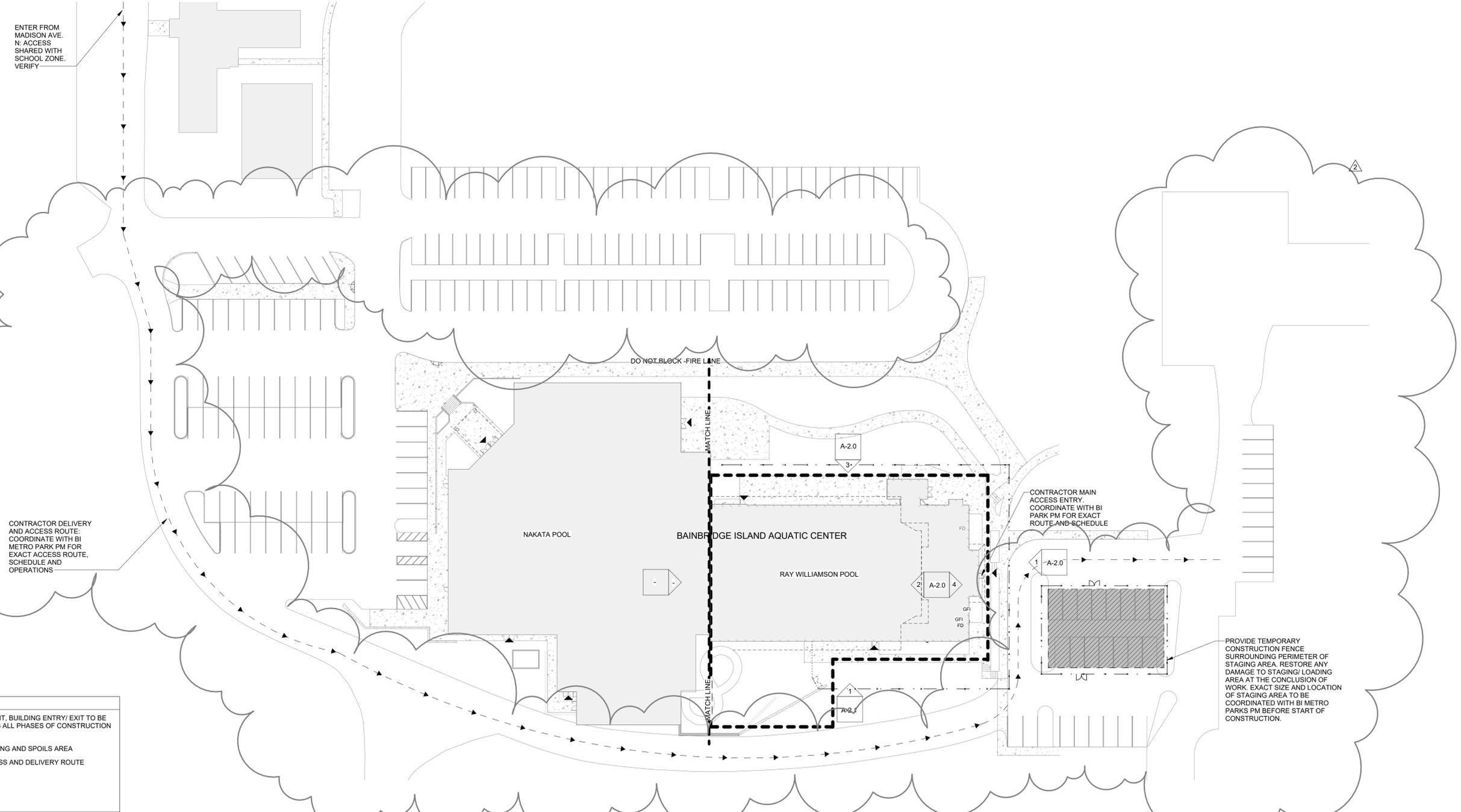
BID SET PHASE 1
 5/15/2024

REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT	SMS
PROJECT MANAGER	LB
DRAWN	RS

SITE PLAN

A-0.1
 2208



ENTER FROM MADISON AVE. N. ACCESS SHARED WITH SCHOOL ZONE. VERIFY

CONTRACTOR DELIVERY AND ACCESS ROUTE. COORDINATE WITH BI METRO PARK PM FOR EXACT ACCESS ROUTE, SCHEDULE AND OPERATIONS

CONTRACTOR MAIN ACCESS ENTRY. COORDINATE WITH BI PARK PM FOR EXACT ROUTE AND SCHEDULE

PROVIDE TEMPORARY CONSTRUCTION FENCE SURROUNDING PERIMETER OF STAGING AREA. RESTORE ANY DAMAGE TO STAGING/LOADING AREA AT THE CONCLUSION OF WORK. EXACT SIZE AND LOCATION OF STAGING AREA TO BE COORDINATED WITH BI METRO PARKS PM BEFORE START OF CONSTRUCTION.

SITE PLAN LEGEND

- ▼ PUBLIC BUILDING EXIT, BUILDING ENTRY/ EXIT TO BE KEPT CLEAR DURING ALL PHASES OF CONSTRUCTION
- ▭ EXISTING BUILDING
- ▨ CONTRACTOR STAGING AND SPOILS AREA
- ← CONTRACTOR ACCESS AND DELIVERY ROUTE
- PROJECT LIMITS
- FENCE

1 SITE PLAN
 1" = 30'-0"

GENERAL DEMOLITION NOTES

- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. DIMENSIONS SHALL BE FIELD VERIFIED BY GC. CONTACT THE ARCHITECT IF DISCREPANCIES ARE DISCOVERED.
- PRIOR TO ANY DEMOLITION ACTIVITIES, ALL EXISTING NATATORIUM EQUIPMENT, POOL ACCESSORIES, AND OTHER MISCELLANEOUS ITEMS SHALL BE PROTECTED, SEALED DUST TIGHT, THE PROTECTIVE WRAP SHALL BE REMOVED AND THE FIXTURES CLEANED AT JOB COMPLETION.
- NOISE AND DUST CONTROL IN AREAS OF WORK IS CRITICAL. PROTECTION OF EXISTING FACILITIES AND ANY EXISTING EQUIPMENT FROM DUST AND CONSTRUCTION DEBRIS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DAILY CLEAN-UP OF CONSTRUCTION DUST AND DEBRIS WITHIN PROJECT SITE LIMITS AND OTHER AREAS AFFECTED BY CONSTRUCTION IS REQUIRED.
- COORDINATE TEMPORARY STORAGE LOCATION OF ALL POOL EQUIPMENT BEING SALVAGED FOR REUSE WITH OWNER.
- COORDINATE WITH OWNER TO SHUT DOWN THE HVAC SYSTEMS, THE CONTRACTOR SHALL COVER VENTS/ LOUVERS PRIOR TO DEMOLITION ACTIVITIES.

DEMOLITION KEYNOTE LEGEND

1	DEMOLISH (E) STOREFRONT SYSTEM TO ACCOMMODATE NEW WORK. PROTECT OPENINGS AFTER REMOVAL FROM WATER INGRESS AND/ OR INTRUSION.
2	CLEAN AT INTERIOR AND EXTERIOR. REF STRUCTURAL.
3	CLEAN BASE PLATES AND METAL SEATS TO REMOVE CORROSION. REF STRUCTURAL.
4	DEMOLISH (E) EXTERIOR DOOR, DOOR FRAME, AND THRESHOLD TO ACCOMMODATE NEW WORK. PROTECT OPENINGS AFTER REMOVAL FROM WATER INGRESS AND/ OR INTRUSION.
5	CAREFULLY REMOVE (E) ABANDONED WATER CLOSET. REF MECHANICAL.
6	CAREFULLY REMOVE (E) ABANDONED URINAL. REF MECHANICAL.
7	CAREFULLY REMOVE (E) ABANDONED SINK. REF MECHANICAL.
8	DEMOLISH (E) INTERIOR DOOR, DOOR FRAME, AND THRESHOLD TO ACCOMMODATE NEW WORK.
9	REMOVE (E) ELECTRICAL PANEL. REF ELECTRICAL.
10	REMOVE (E) BENCH AND BRACKETS. PATCH BRICK WALL.
11	REMOVE (E) LOCKER AND BRICK BASE.
12	REMOVE (E) CARPET.
13	REPAIR SPALLED CONCRETE AT FILTER ROOM. REF STRUCTURE.
14	DEMOLISH (E) DOOR FRAMES, TOUCH UP AND PAINT.
15	REMOVE AND CAP EXISTING PLUMBING IN STORAGE AREA. REF MECHANICAL.
16	CAREFULLY REMOVE (E) SHOWER POLE AND DRAIN. REF MECHANICAL.
17	TEMPORARILY SHUT OFF NAKATA POOL CHLORINE LINE DURING DEMOLITION. USE EXTREME CAUTION NOT TO DAMAGE (E) PIPE. REF MECHANICAL.
18	CAREFULLY REMOVE (E) PLAQUE, CLEAN, AND COORDINATE WITH OWNER FOR STORAGE DURING CONSTRUCTION.
19	DEMOLISH (E) TRASH ENCLOSURE. COORDINATE NEW LOCATION WITH OWNER.
20	INSTALL PHYSICAL BARRIER AT THE NAKATA POOL AND RAY WILLIAMSON TRANSITION POINT. THE BARRIER MUST PROVIDE VISUAL BLOCKAGE BETWEEN THE TWO POOLS. CONTRACTOR MAY INSTALL VISUAL BARRIER TO (E) STOREFRONT; ANY DAMAGES AND REPAIRS TO THE STOREFRONT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR REPAIR/REPLACEMENT.
21	PROTECT POOL WITH AN ANCHORED COVER WITH BREATHABLE KNITTED FABRIC. COVER SYSTEM MUST ALSO CONFORM WITH SAFETY REQUIREMENTS AND PREVENT ENTRAPMENT. ADD ADDITIONAL PROTECTION MATERIAL SUCH AS VISQUEUNE TO PREVENT DIRT AND DEBRIS FROM ENTERING THE POOL. BASIS OF DESIGN: Covers&all Rectangular Pool Cover 36" Center Steps 47–78– (F.V.) or approved equal.

DEMO GRAPHIC LEGEND

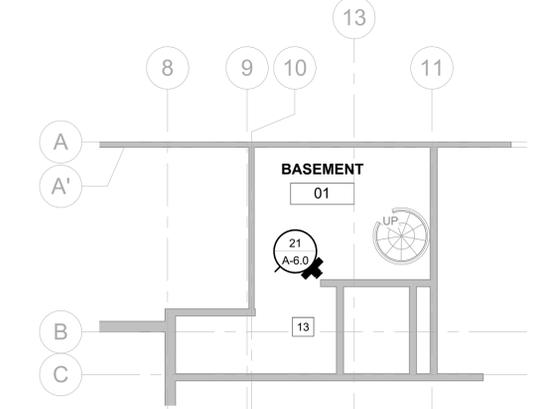
	EXISTING CONSTRUCTION		EXISTING HARDSCAPE
	ITEMS TO BE DEMOLISHED		DEMOLISH (E) CARPET
	KEYNOTES		DETAIL REFERENCE: NUMBER SHEET
	DEMOLISH DOORS		DETAIL NUMBER DRAWING SHEET
	PHOTO REFERENCE SEE PHOTO REFERENCE SHEET		ENLARGED DETAIL NUMBER DRAWING SHEET
	ELEVATION REFERENCE NUMBER SHEET		
	Room name		
	# ROOM TAG		
	NIC		

SPECIAL NOTE

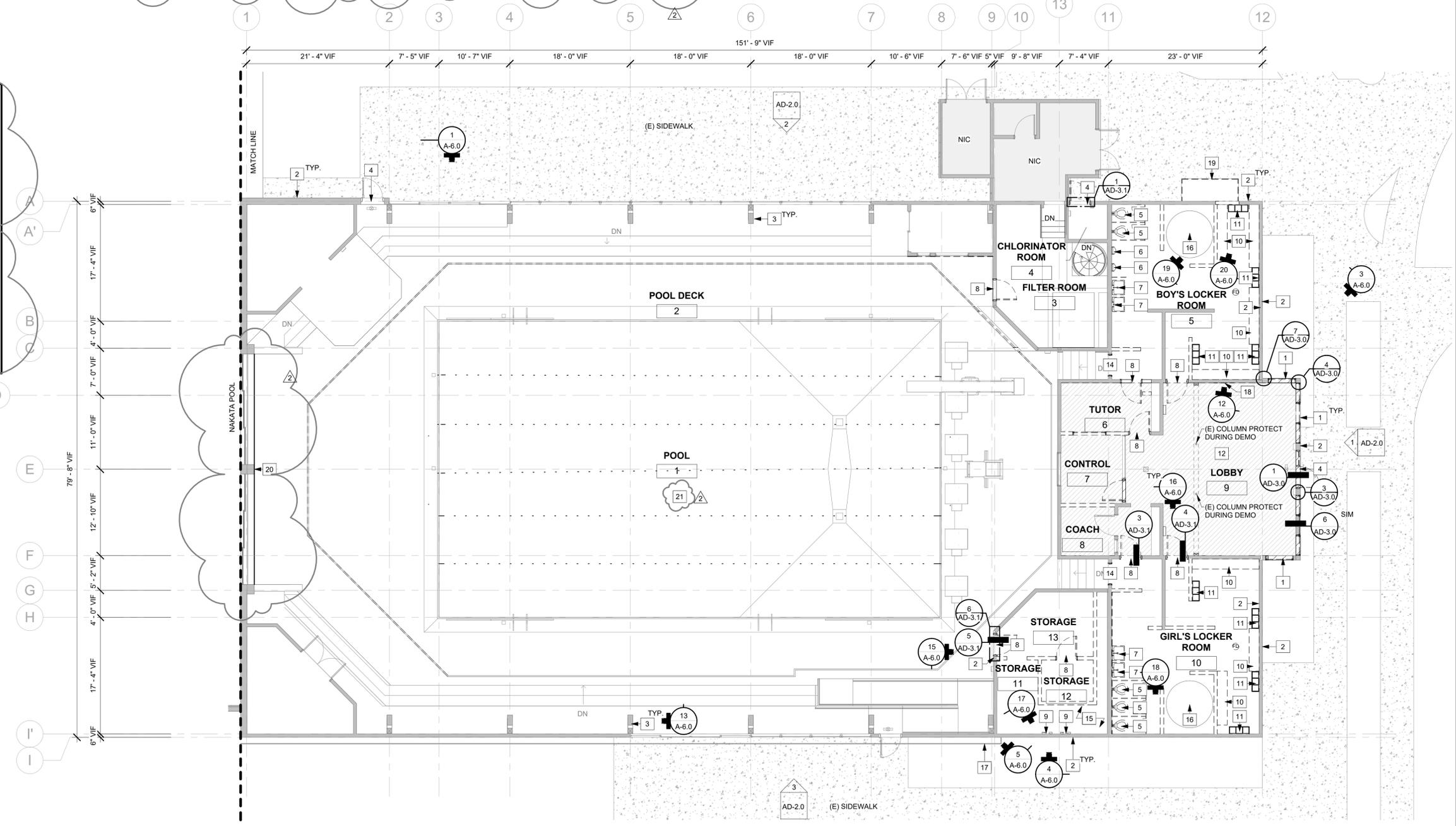
THE NAKATA POOL WILL BE IN OPERATION DURING THE CONSTRUCTION PERIOD FOR THE RAY WILLIAMSON POOL. NO VIDEOS OR PHOTOGRAPHS ARE PERMITTED OF THE NAKATA POOL OR ITS PREMISES AND ITS USERS AT ANY TIME. THE CONTRACTOR AND ALL OF THEIR PERSONNEL ARE RESTRICTED TO THE RAY WILLIAMSON POOL SITE, UNLESS ESCORTED OR GIVEN PERMISSION TO ENTER THE NAKATA POOL SITE.

HAZARDOUS MATERIAL ABATEMENT NOTES:

- PERFORM ALL ACTIVITIES IMPACTING REGULATED AND/ OR HAZARDOUS MATERIALS IN ACCORDANCE WITH SPECIFICATION SECTION 01 11 10 SUMMARY OF HAZARDOUS MATERIALS WORK AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- PERFORM ALL ACTIVITIES IMPACTING ASBESTOS- ASBESTOS CONTAINING MATERIALS ACCORDING TO SPECIFICATION 02 82 00, ASBESTOS ABATEMENT, AND ALL APPLICABLE REGULATIONS AS NECESSARY TO ACCOMPLISH THE WORK.
- REMOVE AND DISPOSE OF APPROXIMATELY 210 SF OF ASBESTOS CONTAINING TANK INSULATION ASSOCIATED WITH HOT WATER TANK IN THE BASEMENT MECHANICAL ROOM. NOT SHOWN.
- REMOVE AND DISPOSE OF APPROXIMATELY 50 EA OF ASBESTOS-CONTAINING EXPOSED HARD MUDDIED FITTING INSULATION ASSOCIATED WITH NON-ACM FIBERGLASS STRAIGHT-RUN INSULATION IN MECHANICAL ROOMS. NOT SHOWN.
- REMOVE AND DISPOSE OF APPROXIMATELY 50 EA OF ASBESTOS CONTAINING CONCEALED HARD MUDDIED FITTING INSULATION ASSOCIATED WITH NON-ACM FIBERGLASS STRAIGHT-RUN INSULATION IN WALL AND CEILING CAVITIES THROUGHOUT. NOT SHOWN.
- REMOVE AND RECYCLE APPROXIMATELY 100 FOUR-FOOT AND 50 EIGHT-FOOT FLOURESCENT LIGHT TUBES LOCATED IN VARIOUS AREAS THROUGHOUT THE BUILDING. COORDINATE WITH ELECTRICAL.
- INCLUDED IN THE WORKS IS THE REMOVAL, HANDLING PACKAGING, TRANSPORT AND PROPER DISPOSAL OF UPTO 20 PCB-CONTAINING LIGHT FIXTURE BALLASTS AS ENCOUNTERED THROUGHOUT THE BUILDING.



2 FILTERROOM BASEMENT - DEMO
1/8" = 1'-0"



1 MAIN FLOOR DEMOLITION PLAN
1/8" = 1'-0"

RAY WILLIAMSON POOL IMPROVEMENTS
8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1 5/15/2024

REVISIONS

#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT	SMS
PROJECT MANAGER	LB
DRAWN	JR, RS

RAY WILLIAMSON POOL DEMOLITION PLAN

AD-1.0
2208

REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT	SMS
PROJECT MANAGER	LB
DRAWN	JR, RS

EXTERIOR ELEVATION DEMO

AD-2.0
2208

ELEVATION DEMOLITION NOTES

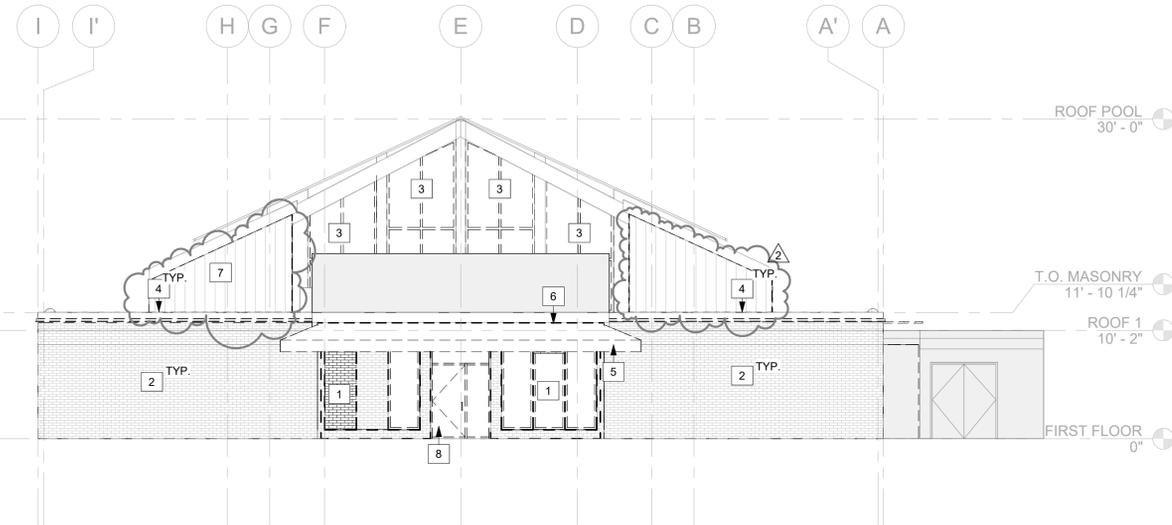
- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. DIMENSIONS SHALL BE FIELD VERIFIED BY GC. CONTACT THE ARCHITECT IF DISCREPANCIES ARE DISCOVERED.
- TEMPORARILY PROTECT ALL OPENINGS ON THE ROOF AFTER REMOVAL OF (E) CLERESTORIES AND ROOF TOP EQUIPMENT.
- REFER TO SHEET A0.0 FOR STAGING REQUIREMENTS
- REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL DRAWINGS FOR ASSOCIATED DEMOLITION WORK.

DEMO ELEV GRAPHIC LEGEND

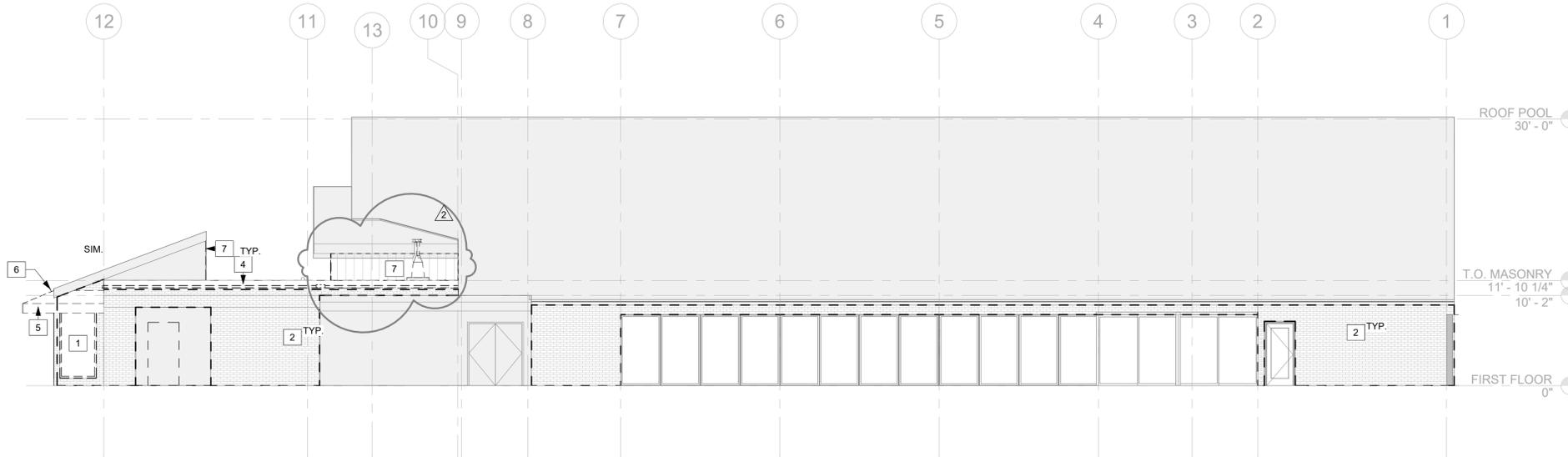
- EXISTING CONSTRUCTION
- ITEMS TO BE DEMOLISHED
- KEYNOTES
- NIC
- T-111 SIDING TO BE REMOVED
- BRICK TO BE REPAIRED REF STRUCTURAL
- DETAIL REFERENCE: DETAIL # SHEET #

DEMO EXTERIOR ELEVATION KEYNOTE LEGEND

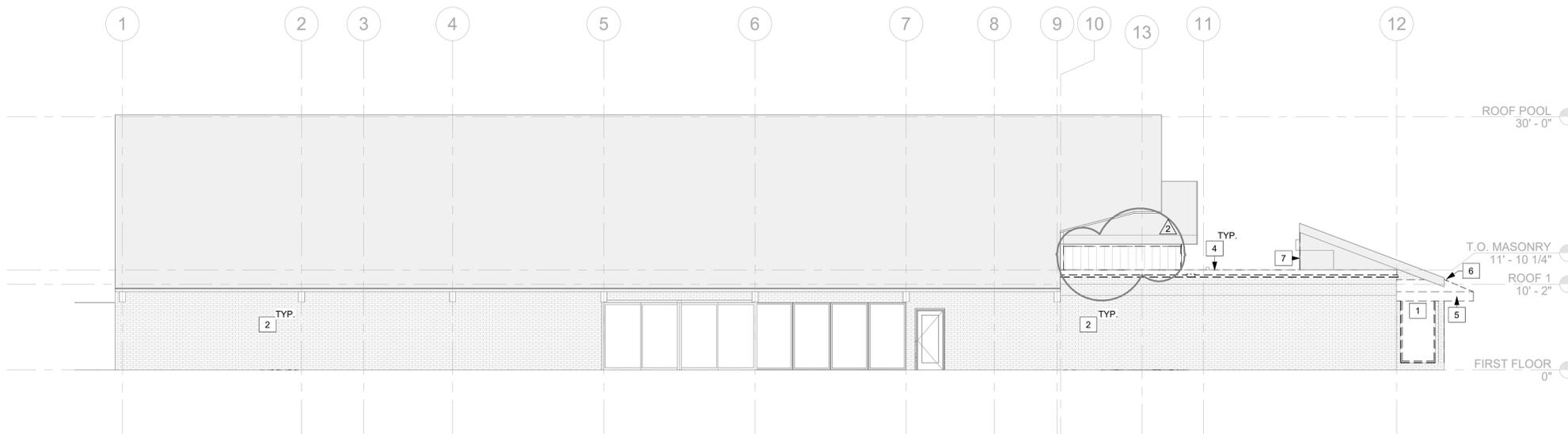
1	REMOVE (E) STOREFRONT SYSTEM TO ACCOMMODATE NEW WORK. PROTECT OPENINGS AFTER REMOVAL FROM WATER INGRESS AND/ OR INTRUSION.
2	CLEAN EFFLORESCENCE ON INTERIOR AND EXTERIOR OF BRICK WALL. REPAIR (E) DAMAGED BRICK PER STRUCTURAL.
3	REMOVE (E) CLERESTORY WINDOWS TO ACCOMMODATE NEW WORK. PROTECT OPENINGS AFTER REMOVAL FROM WATER INGRESS AND/ OR INTRUSION
4	DEMOLISH (E) SHEET METAL FLASHING, COUNTERFLASHING, AND COPING.
5	CAREFULLY/TEMPORARILY REMOVE (E) AWNING. SAFELY STORE DURING CONSTRUCTION. COORDINATE WITH OWNER FOR STORAGE LOCATION.
6	DEMOLISH (E) GUTTER.
7	DEMOLISH (E) T1-11 SIDING.
8	REMOVE (E) EXTERIOR DOOR AND FRAME TO ACCOMMODATE NEW WORK. PROTECT OPENINGS AFTER REMOVAL FROM WATER INGRESS AND/ OR INTRUSION.



1 DEMO NORTH ELEVATION
1/8" = 1'-0"



2 DEMO EAST ELEVATION
1/8" = 1'-0"

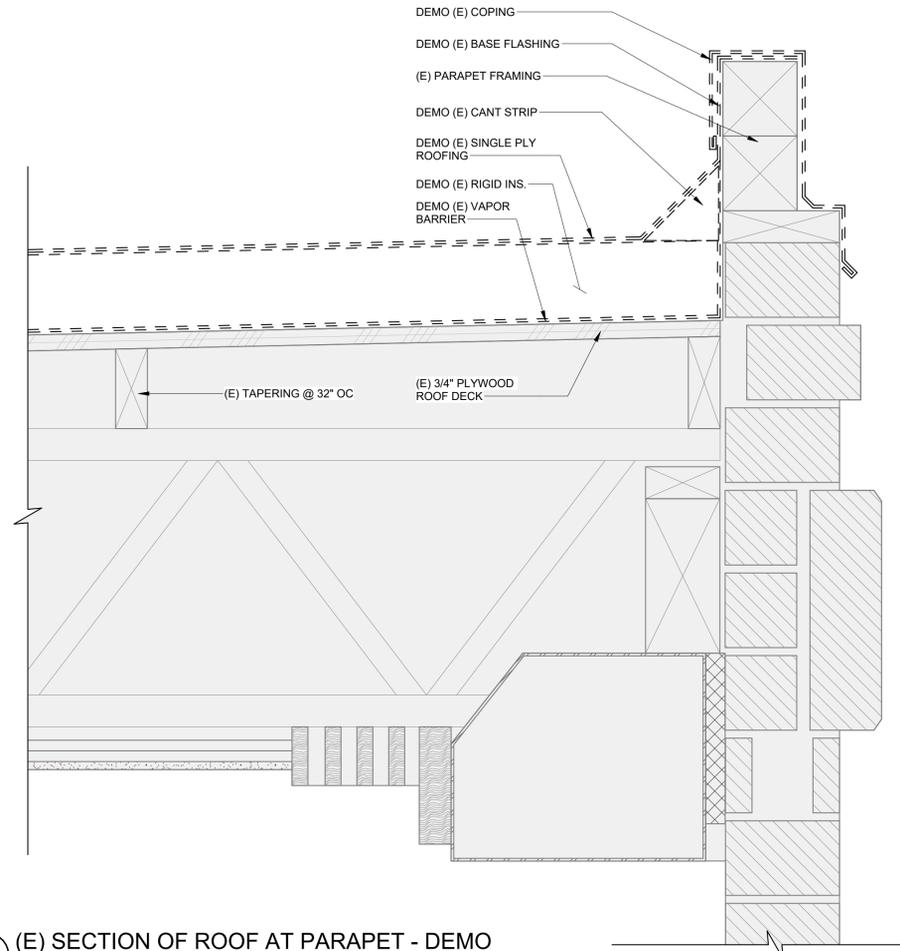


3 DEMO WEST ELEVATION
1/8" = 1'-0"

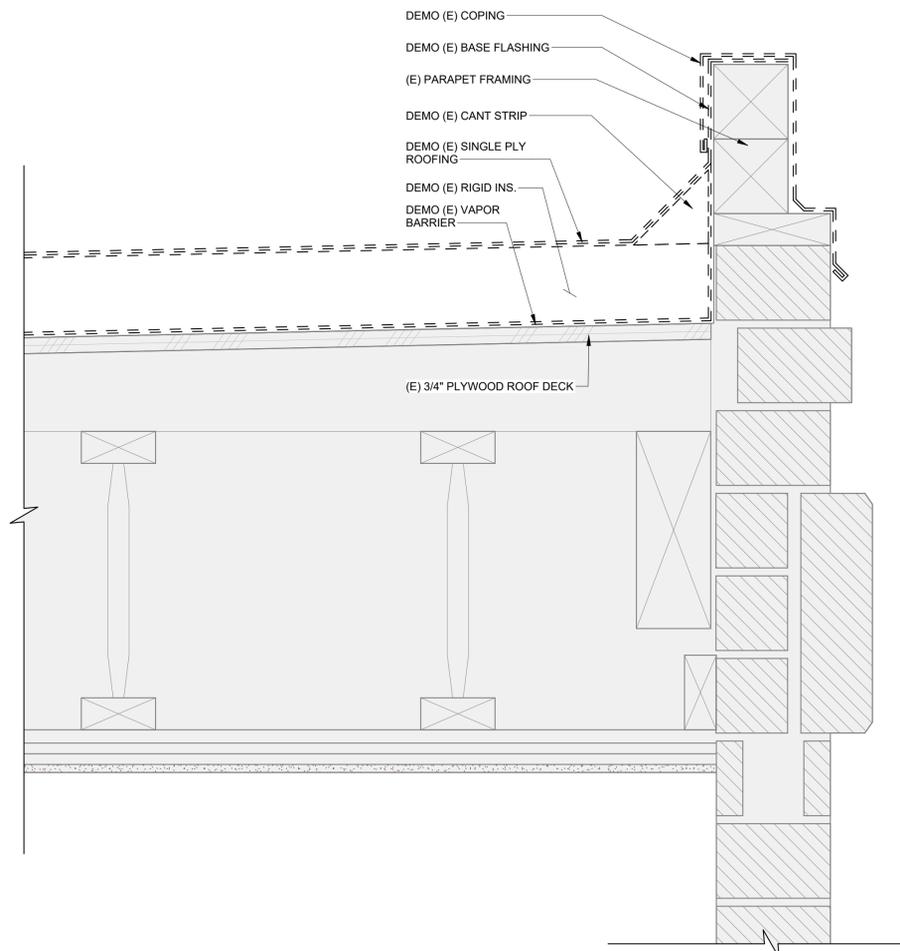
REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT	SMS
PROJECT MANAGER	LB
DRAWN	SL

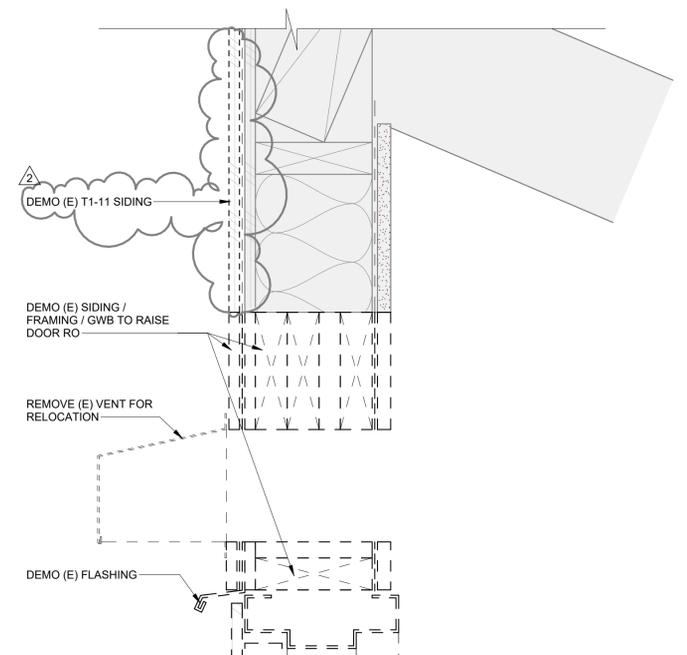
ROOF DEMO DETAILS



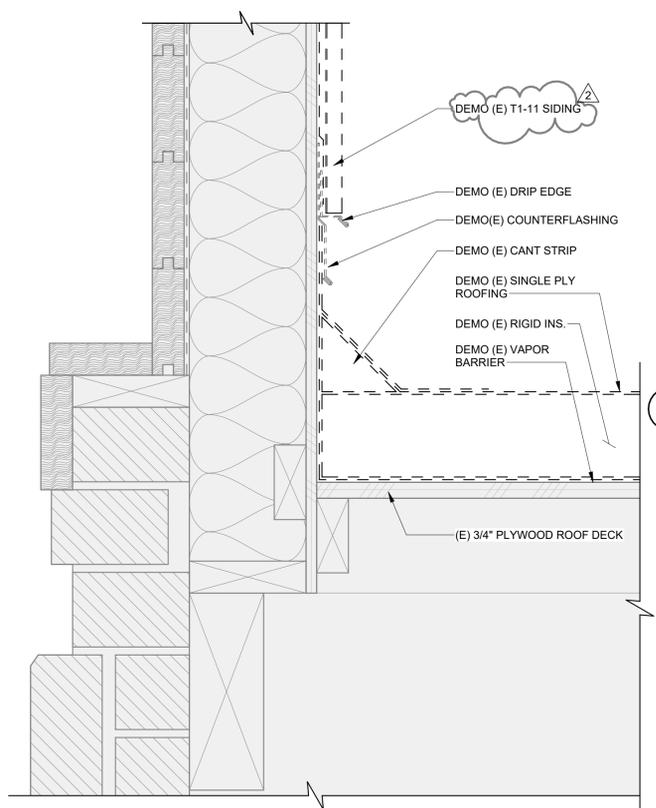
1 (E) SECTION OF ROOF AT PARAPET - DEMO
3" = 1'-0"



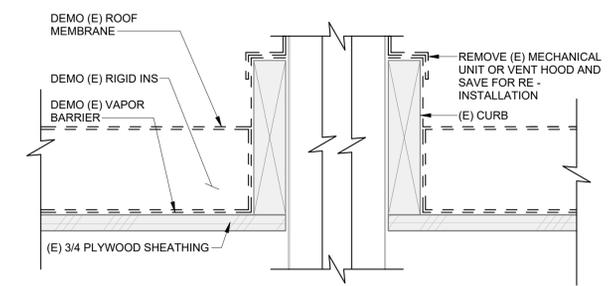
2 (E) SECTION AT SIDE PARAPET - DEMO
3" = 1'-0"



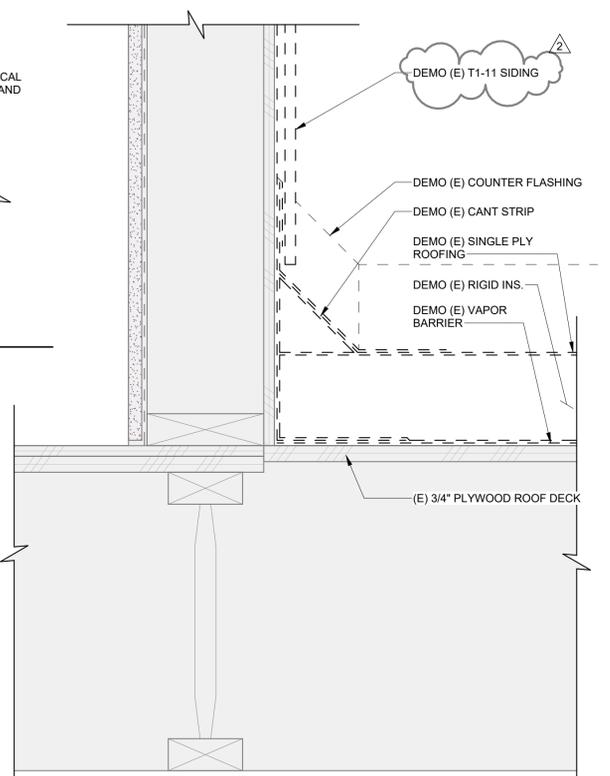
12 (E) MECH LOFT DOOR VERTICAL SECTION - DEMO
3" = 1'-0"



9 ROOF TO SIDE WALL AT LOBBY CLERESTORY - DEMO
3" = 1'-0"



6 MECHANICAL CURB - DEMO
3" = 1'-0"



11 (E) MECH SIDING - DEMO
3" = 1'-0"

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FLOOR PLAN GENERAL NOTES

- EXISTING DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. DIMENSIONS SHALL BE FIELD VERIFIED BY GC. CONTACT THE ARCHITECT IF DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND COMPLIANCE WITH ALL STATE OR LOCAL CODES AND ORDINANCES GOVERNING THE WORK.
- DATA/ELECTRICAL/MECHANICAL ARE SHOWN FOR REFERENCE ONLY. DATA, ELECTRICAL, AND MECHANICAL DESIGN SHALL BE SUBMITTED BY CONTRACTOR AND PERMITTED UNDER SEPARATE PERMIT.
- NOISE AND DUST CONTROL IN AREAS OF WORK IS CRITICAL. PROTECTION OF EXISTING FACILITIES AND ANY EXISTING EQUIPMENT FROM DUST AND CONSTRUCTION DEBRIS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DAILY CLEAN-UP OF CONSTRUCTION DUST AND DEBRIS WITHIN PROJECT SITE LIMITS AND OTHER AREAS AFFECTED BY CONSTRUCTION IS REQUIRED.
- PROVIDE A WORK AND DUST CONTROL BARRIER AT NATATORIUM TO SEPARATE FROM THE REMAINING BUILDING IN OPERATION.
- COORDINATE TEMPORARY STORAGE LOCATION OF ALL POOL EQUIPMENT BEING SALVAGED FOR REUSE WITH OWNER.

SPECIAL NOTE

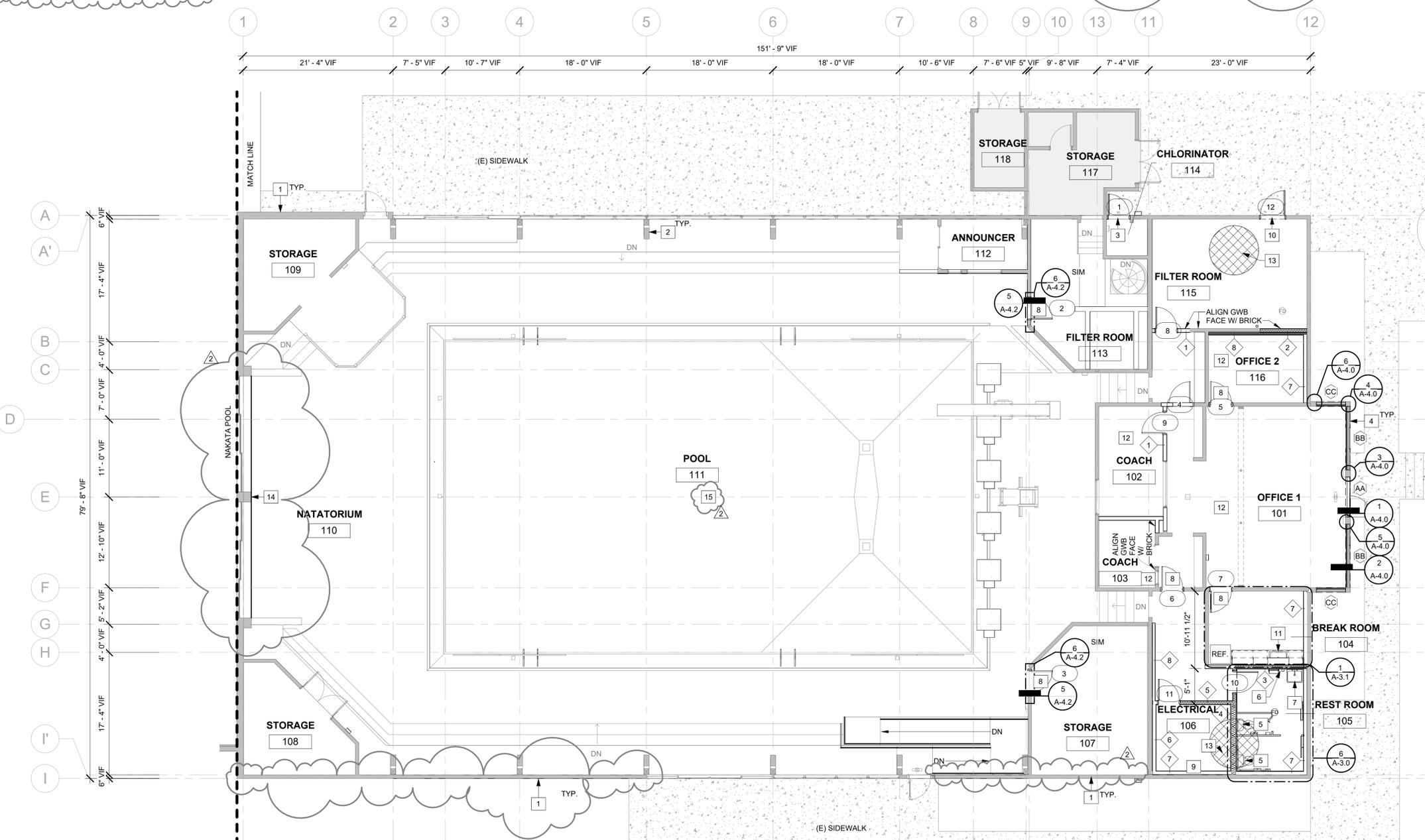
THE NAKATA POOL WILL BE IN OPERATION DURING THE CONSTRUCTION PERIOD FOR THE RAY WILLIAMSON POOL. NO VIDEOS OR PHOTOGRAPHS ARE PERMITTED OF THE NAKATA POOL OR ITS PREMISES AND ITS USERS AT ANY TIME. THE CONTRACTOR AND ALL OF THEIR PERSONNEL ARE RESTRICTED TO THE RAY WILLIAMSON POOL SITE, UNLESS ESCORTED OR GIVEN PERMISSION TO ENTER THE NAKATA POOL SITE.

KEYNOTE LEGEND

- CLEAN EFFLORESCENCE ON INTERIOR AND EXTERIOR OF BRICK WALL. REPAIR (E) DAMAGED BRICK PER STRUCTURAL. APPLY SEALANT AT EXTERIOR AND INTERIOR BRICK WALL.
- CLEAN BASE PLATES AND METAL SEATS TO REMOVE CORROSION. COAT BASE PLATES AND METAL SEATS. REF STRUCTURAL.
- FURNISH AND INSTALL EXTERIOR DOOR, DOOR FRAME, ALL ASSOCIATED ADA HARDWARE.
- FURNISH AND INSTALL NEW STOREFRONT SYSTEM, IN ITS ENTIRETY. REF A4.0 FOR DETAILS, TYP.
- INSTALL NEW PLUMBING FIXTURES PER MECHANICAL.
- FURNISH AND INSTALL NEW TOILET ACCESSORIES: PAPER TOWEL AND DISPENSER COMBO, SOAP DISPENSER, MIRROR, TOILET PAPER DISPENSER, SEAT COVER DISPENSER, GRAB BARS, AND SANITARY NAPKIN DISPOSAL. SEE A4.0 FOR LOCATIONS.
- FURNISH AND INSTALL NEW PLUMBING FIXTURE PER MECHANICAL. REF A4.0 FOR MOUNTING.
- FRAME IN (E) DOOR ROUGH OPENING TO FIT NEW DOOR FRAME. FURNISH AND INSTALL NEW INTERIOR DOOR, DOOR FRAME, AND HARDWARE.
- FURNISH AND INSTALL NEW ELECTRICAL PANEL. REF ELECTRICAL.
- FURNISH AND INSTALL NEW 42" WIDE HOLLOW METAL DOOR. REF STRUCTURAL.
- FURNISH AND INSTALL NEW CASEWORK AND ACCESSIBLE KITCHEN SINK. REF INTERIOR ELEVATIONS.
- WHERE DEMO HAS CREATED PITS AND DIVETS OR GLUE LEFT ON, OR GENERAL UNEVEN FLOOR, GRIND AND LEVEL FLOOR TO ACCOMMODATE NEW FINISH. FURNISH AND INSTALL NEW FLOORING.
- INFILL SHOWER VOID. REF STRUCTURAL.
- INSTALL PHYSICAL BARRIER AT THE NAKATA POOL AND RAY WILLIAMSON TRANSITION POINT. THE BARRIER MUST PROVIDE VISUAL BLOCKAGE BETWEEN THE TWO POOLS. CONTRACTOR MAY INSTALL VISUAL BARRIER TO (E) STOREFRONT; ANY DAMAGES AND REPAIRS TO THE STOREFRONT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR REPAIR/REPLACEMENT.
- PROTECT POOL WITH AN ANCHORED COVER WITH BREATHABLE KNITTED FABRIC. COVER SYSTEM MUST ALSO CONFORM WITH SAFETY REQUIREMENTS AND PREVENT ENTRAPMENT. ADD ADDITIONAL PROTECTION MATERIAL SUCH AS VISQUENE TO PREVENT DIRT AND DEBRIS FROM ENTERING THE POOL. BASIS OF DESIGN: Covers&all Rectangular Pool Cover 86" Center Steps 47&E™x78&E™ (F.V.) or approved equal.

PLAN LEGEND

	KEYNOTE		EXISTING WALL CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION		SECTION NUMBER DRAWING SHEET
	(E) DOOR TO REMAIN		DETAIL NUMBER DRAWING SHEET
	DOOR NUMBER SEE SCHEDULE		CALLOUT NUMBER DRAWING SHEET
Room name	ROOM NAME ROOM NUMBER		WALL TYPE INDICATOR TYP 1, TYP UNO WALL TYPES 1-3 COORDINATE W/ DETAILS ON A5.0
	INTERIOR ELEVATION DRAWING SHEET & NUMBER		NEW FIBERGLASS POOL LINER
	EXTERIOR ELEVATION NUMBER & DRAWING SHEET		INFILL SHOWER VOID REF STRUCTURAL.
	NEW CONCRETE POOL DECK REF STRUCTURAL		
	STOREFRONT/ CLERESTORY TAG		



STEMPER AC
 REGISTERED ARCHITECT
 SCOTT M. STEMPER
 STATE OF WASHINGTON

RAY WILLIAMSON POOL IMPROVEMENTS
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1
 5/15/2024

REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT
 SMS
 PROJECT MANAGER
 LB
 DRAWN
 RS, JR

RAY WILLIAMSON POOL FLOOR PLAN

A-1.0
 2208

1 MAIN FLOOR PLAN
 1/8" = 1'-0"

ELEVATION GENERAL NOTES

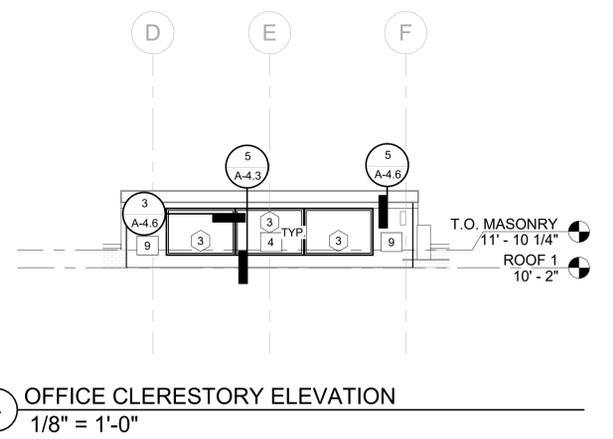
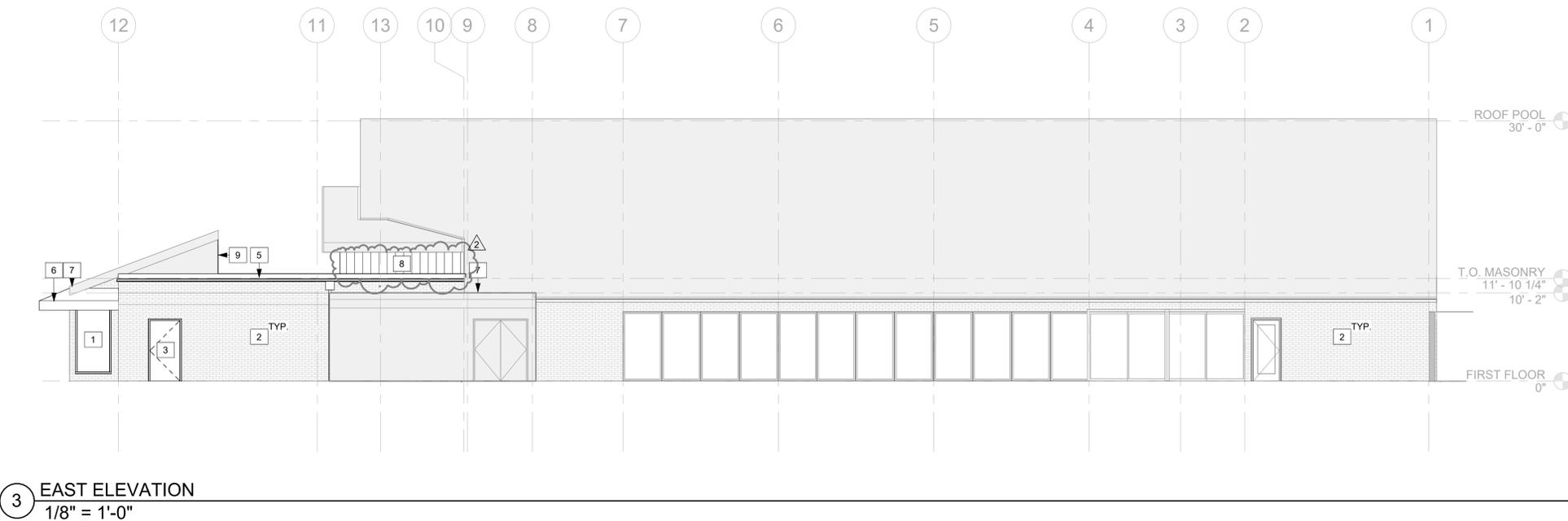
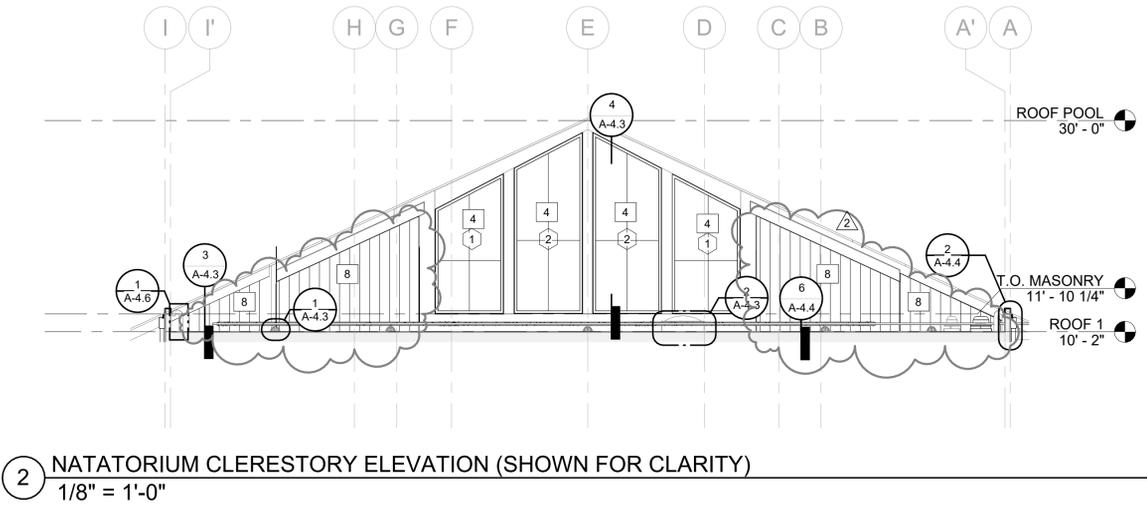
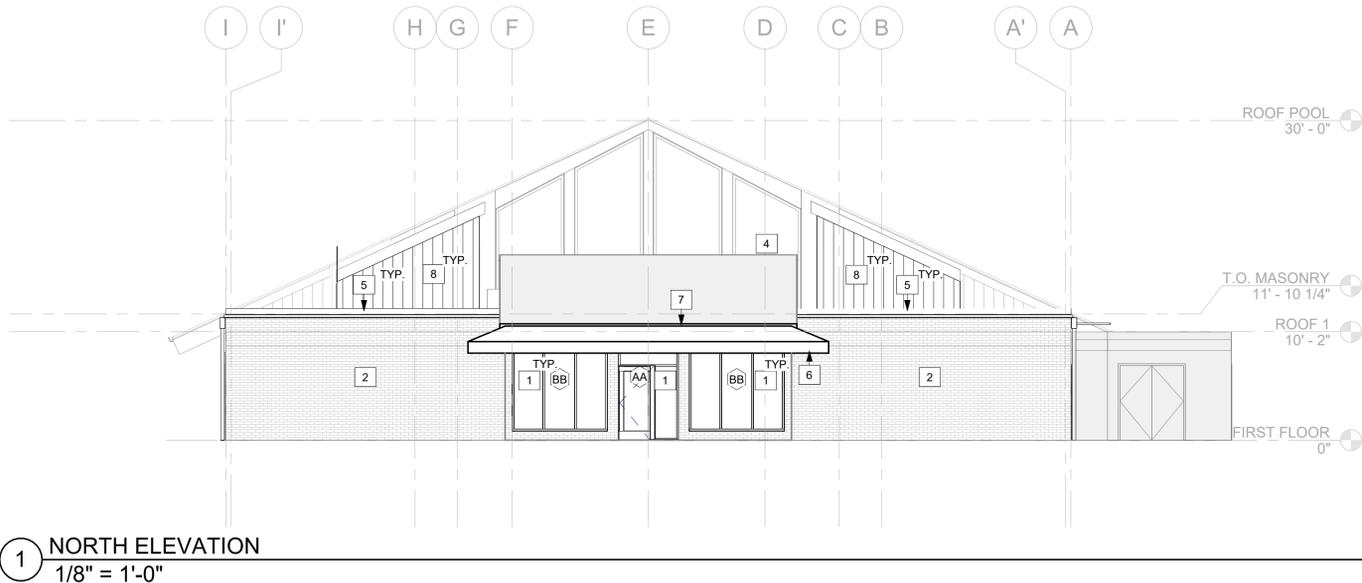
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- CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND COMPLIANCE WITH ALL STATE OR LOCAL CODES AND ORDINANCES GOVERNING THE WORK.

ELEVATION KEYNOTE LEGEND	
1	FURNISH AND INSTALL NEW STOREFRONT SYSTEM, IN ITS ENTIRETY. REF A4.0 FOR DETAILS, TYP.
2	CLEAN EFFLORESCENCE ON INTERIOR AND EXTERIOR OF BRICK WALL. REPAIR (E) DAMAGED BRICK PER STRUCTURAL. APPLY SEALANT AT EXTERIOR AND INTERIOR BRICK WALL.
3	FURNISH AND INSTALL NEW 42" WIDE HOLLOW METAL DOOR. REF STRUCTURAL.
4	FURNISH AND INSTALL NEW CLERESTORY, IN ITS ENTIRETY. REF A4.0 FOR DETAILS, TYP.
5	FURNISH AND INSTALL BLOCKING/FRAMING, COVERBOARD, SHEATHING, AND FINISH TO EXTEND PARAPET. FURNISH AND REPLACE (E) SHEET METAL FLASHING, COUNTER FLASHING, AND COPING PER DETAILS.
6	REINSTALL (E) AWNING TO REPAIRED GUTTER AND WALL.
7	FURNISH AND INSTALL NEW GUTTER PER DETAIL.
8	FURNISH AND INSTALL NEW T1-11 SIDING AND COUNTERFLASHING.
9	FURNISH AND INSTALL NEW METAL SIDING TO MATCH ADJACENT EXISTING SIDING AND COUNTER FLASHING.

BUILDING ENVELOPE REQUIREMENTS				
C503.3.1 ROOF REPLACEMENT: ROOF REPLACEMENT SHALL COMPLY WITH TABLE C402.1.3 OR C402.1.4				
C503.3.2.1 REPLACEMENT FENESTRATION PRODUCTS SHALL MEET TABLE C402.4				
PRESCRIPTIVE PERFORMANCE: 2021 WSEC TABLES C402.1.3, C402.1.4, AND C402.4				
CLIMATE ZONE: 4C (KITSAP)				
COMPONENTS	REQUIRED MIN INSUL. R-VALUE	ASSEMBLY MAX. U-FACTOR	PROPOSED INSUL. R-VALUE	PROPOSED U-FACTOR
ROOF INSUL ABV DECK	R-38 CI	0.027	R38	
VERTICAL FENESTRATION:				
FIXED (GLASS AW)		0.38		0.34
OPERABLE (GLASS AW)		0.40		0.35
OTHER VERTICAL FENESTRATION		0.30		0.30
ENTRANCE DOORS:		0.60		0.60
SKYLIGHTS:		0.50		0.50
FENESTRATION:	SHGC SEW	SHGC N	PROPOSED SHGC SEW	PROPOSED SHGC N
PF<0.2	0.38	0.51	0.38	0.51
0.2<PF<0.5	0.46	0.56	0.46	0.56
PF>0.5	0.61	0.61	0.61	0.61
SKYLIGHT	0.35		0.35	
MAXIMUM AREA C402.4.1:				
TOTAL VERTICAL FENESTRATION: MAX 30% ABV. GRADE WALL				
TOTAL SKYLIGHT: MAX 5% TOTAL GROSS ROOF AREA				
NOTES:				
1. INSULATION PRODUCTS SHALL ALL HAVE IDENTIFICATION MARKS				
2. GLAZING PRODUCTS SHALL BE LABELED WITH U-FACTOR, SHGC, VT, AND LEAKAGE RATING.				
3. WHERE TWO OR MORE LAYERS OF RIGID INSULATION WILL BE USED, EDGE JOINTS BETWEEN LAYERS ARE STAGGERED				



ELEVATION LEGEND	
#	KEYNOTES
■	NIC
■	(E) BRICK
■	NEW T11 SIDING
1 A101	SIM DETAIL NUMBER SHEET



RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1
5/15/2024

REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT
SMS
PROJECT MANAGER
LB
DRAWN
JR, RS

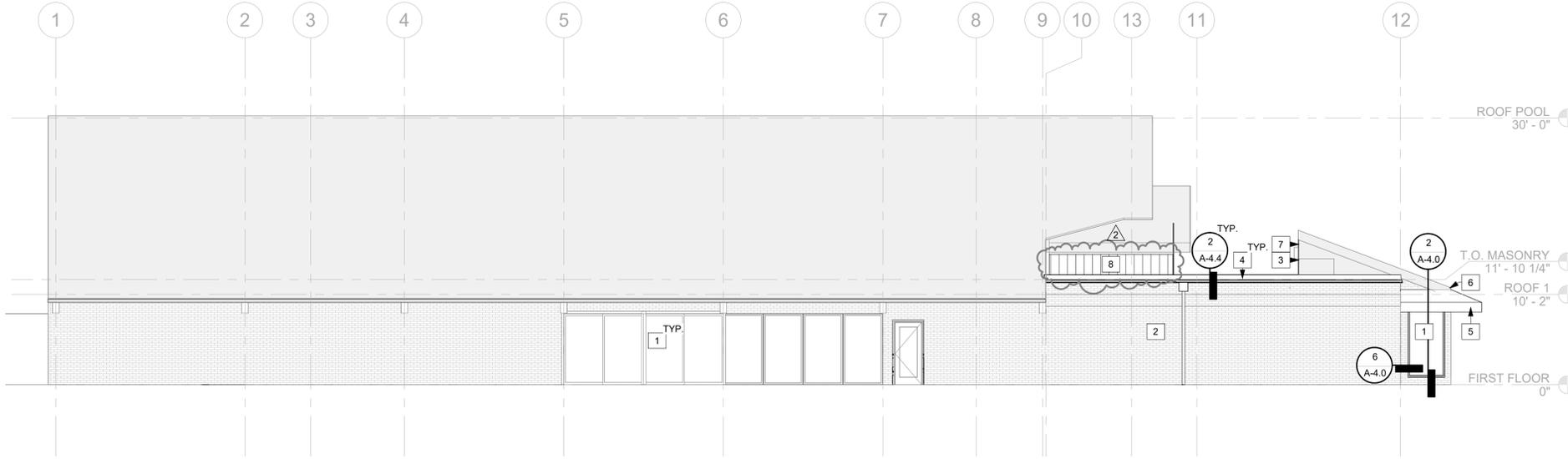
EXTERIOR ELEVATIONS

A-2.0
2208

ELEVATION GENERAL NOTES	
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2.	CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND COMPLIANCE WITH ALL STATE OR LOCAL CODES AND ORDINANCES GOVERNING THE WORK.

ELEVATION KEYNOTE LEGEND	
1	FURNISH AND INSTALL NEW STOREFRONT SYSTEM, IN ITS ENTIRETY. REF A4.0 FOR DETAILS. TYP.
2	CLEAN EFFLORESCENCE ON INTERIOR AND EXTERIOR OF BRICK WALL. REPAIR (E) DAMAGED BRICK PER STRUCTURAL. APPLY SEALANT AT EXTERIOR AND INTERIOR BRICK WALL.
3	FURNISH AND INSTALL NEW CLERESTORY, IN ITS ENTIRETY. REF A4.0 FOR DETAILS. TYP.
4	FURNISH AND INSTALL BLOCKING/ FRAMNG, COVERBOARD, SHEATHING, AND FINISH TO EXTEND PARAPET. FURNISH AND REPLACE (E) SHEET METAL FLASHING, COUNTER FLASHING, AND COPING PER DETAILS.
5	REINSTALL (E) AWNING TO REPAIRED GUTTER AND WALL.
6	FURNISH AND INSTALL NEW GUTTER PER DETAIL.
7	FURNISH AND INSTALL NEW METAL SIDING TO MATCH ADJACENT EXISTING SIDING AND COUNTER FLASHING.
8	FURNISH AND INSTALL NEW T1-11 SIDING AND COUNTERFLASHING.

ELEVATION LEGEND	
#	KEYNOTES
[Pattern]	NIC
[Pattern]	(E) BRICK
[Pattern]	NEW T11 SIDING
1 A101	SIM DETAIL NUMBER SHEET



1 WEST ELEVATION
1/8" = 1'-0"

RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

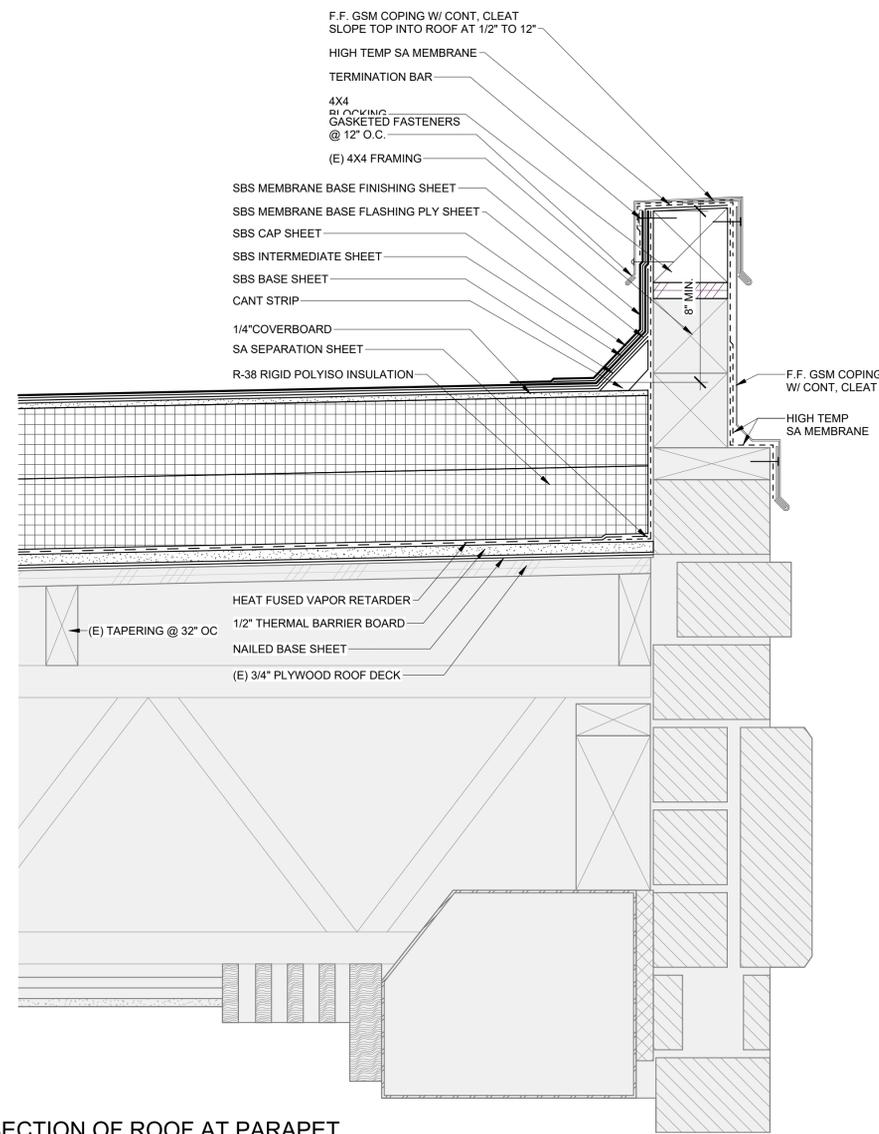
BID SET PHASE 1
5/15/2024

REVISIONS	
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2	ADDENDUM 2 5/14/2024

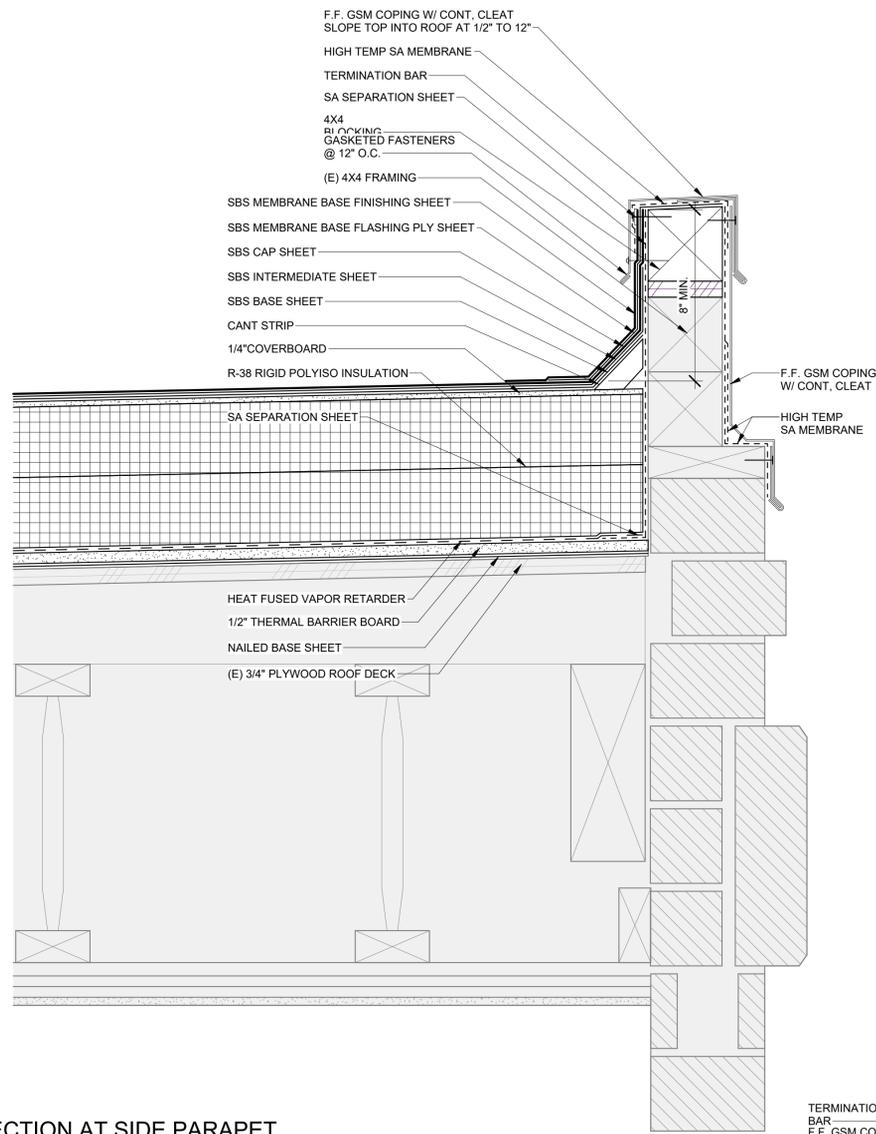
PROJECT ARCHITECT	SMS
PROJECT MANAGER	LB
DRAWN	JR, RS

EXTERIOR
ELEVATION

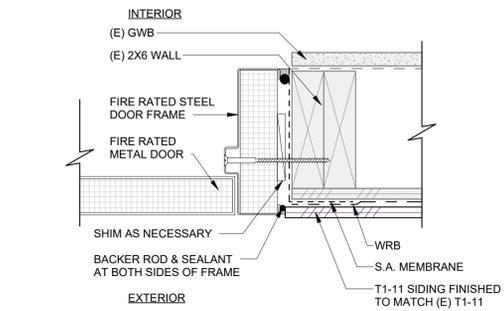
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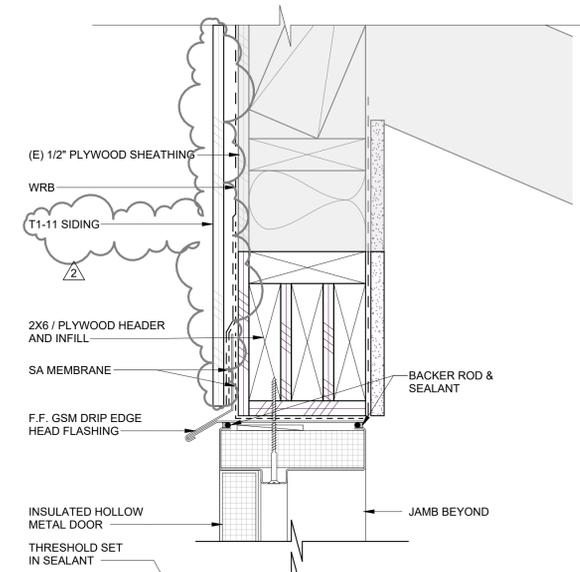
1 SECTION OF ROOF AT PARAPET
3" = 1'-0"



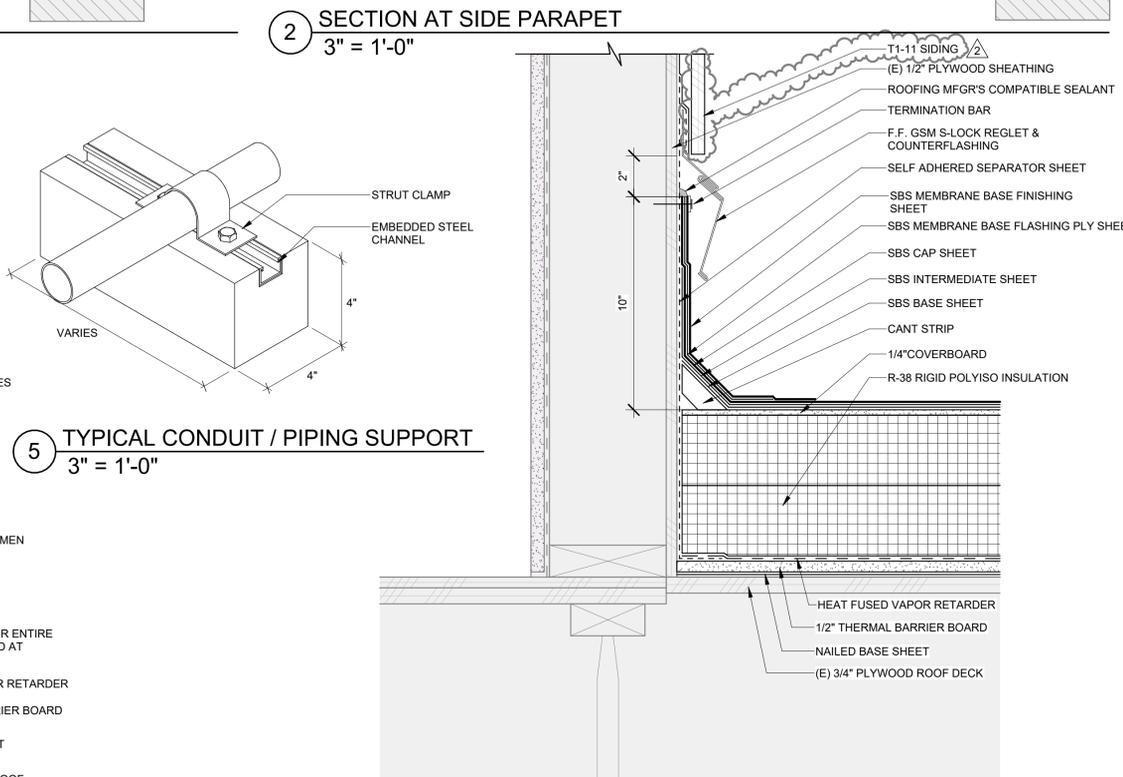
2 SECTION AT SIDE PARAPET
3" = 1'-0"



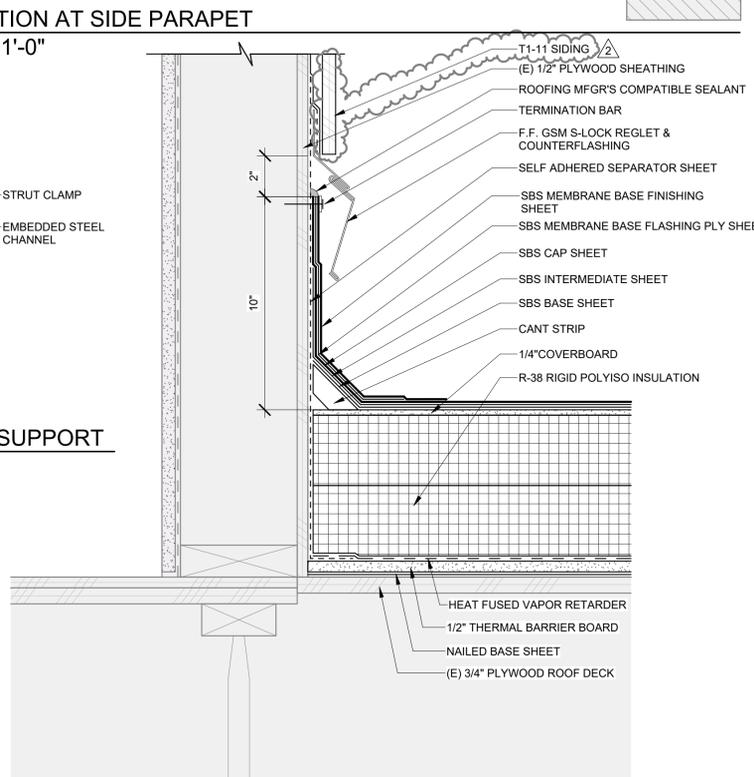
3 MECH PENTHOUSE DOOR JAMB
3" = 1'-0"



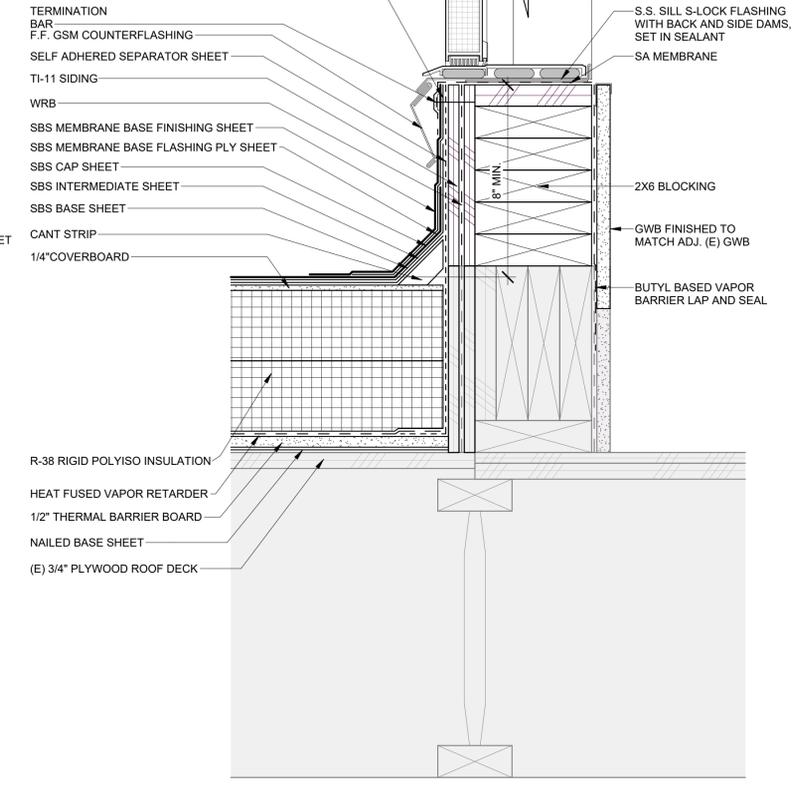
4 PIPE VENT PENETRATION
3" = 1'-0"



5 TYPICAL CONDUIT / PIPING SUPPORT
3" = 1'-0"



6 MECH SIDING
3" = 1'-0"



7 MECH LOFT DOOR VERTICAL SECTION
3" = 1'-0"

RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1
5/15/2024

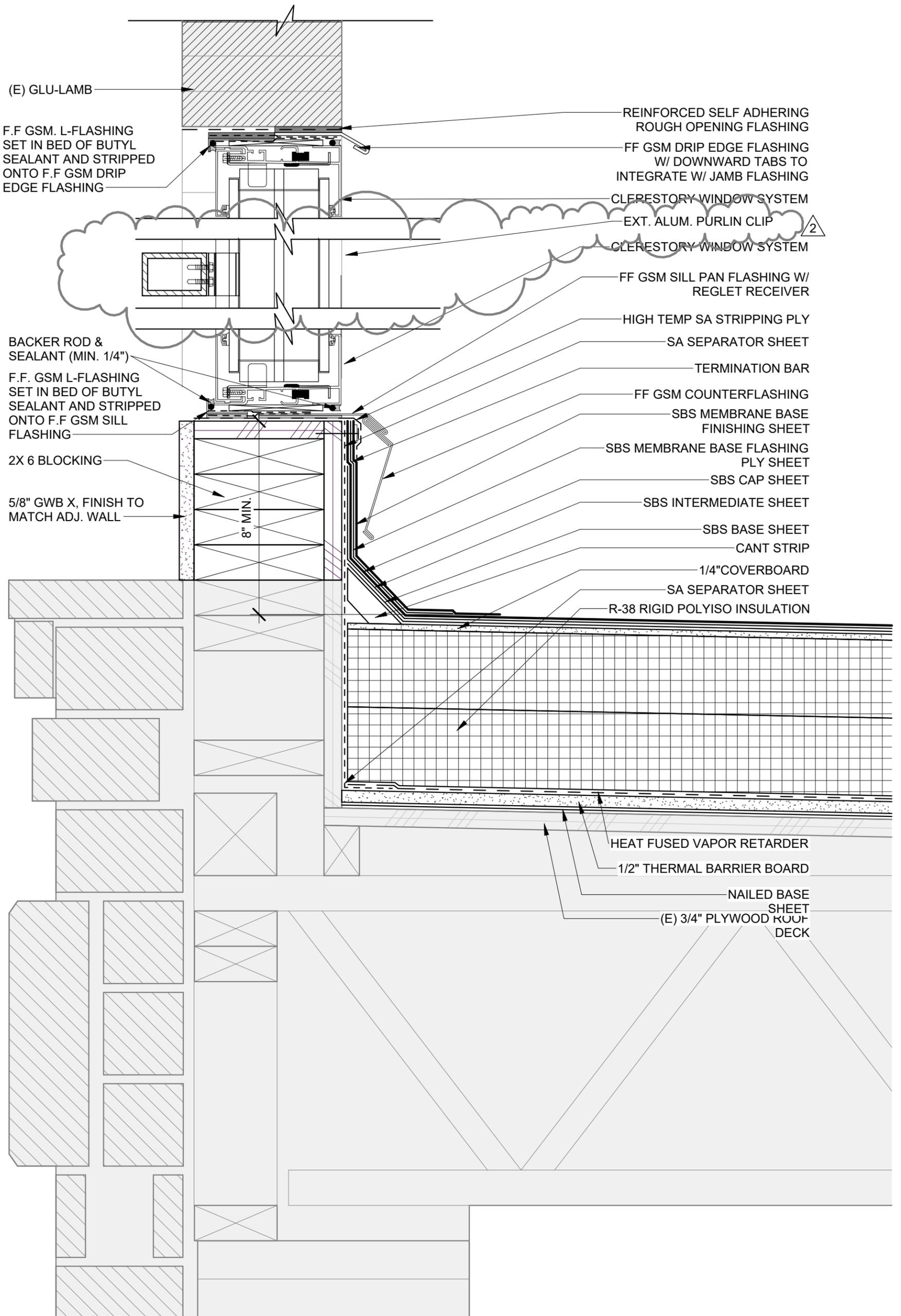
REVISIONS	
#	DATE
2	ADDENDUM 2 5/14/2024

PROJECT ARCHITECT
SMS
PROJECT MANAGER
LB
DRAWN
SL

ROOF DETAILS

A-4.4
2208

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4 NATATORIUM CLERESTORY -4/A-4.3
 3" = 1'-0"

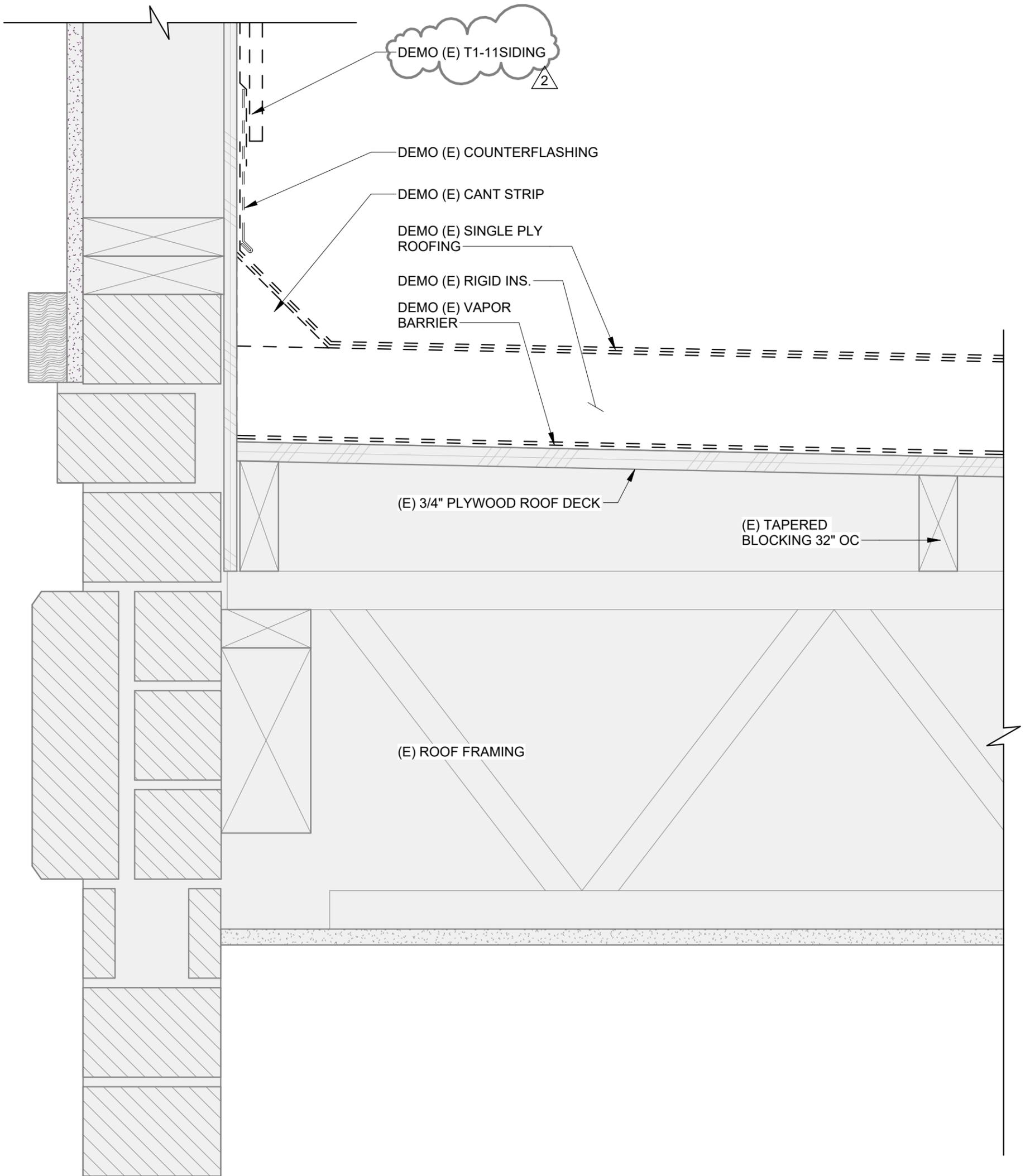
ASK1-REFERENCE DETAIL 4/A-4.3

RAY WILLIAMSON POOL RENOVATION PHASE 1
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110



4220 REGISTERED ARCHITECT
 SCOTT M. STEMPER
 STATE OF WASHINGTON

PIC	SMS	BID SET PHASE 1
PM	LB	5/15/2024
DRW	Author	ASK 1
		2208



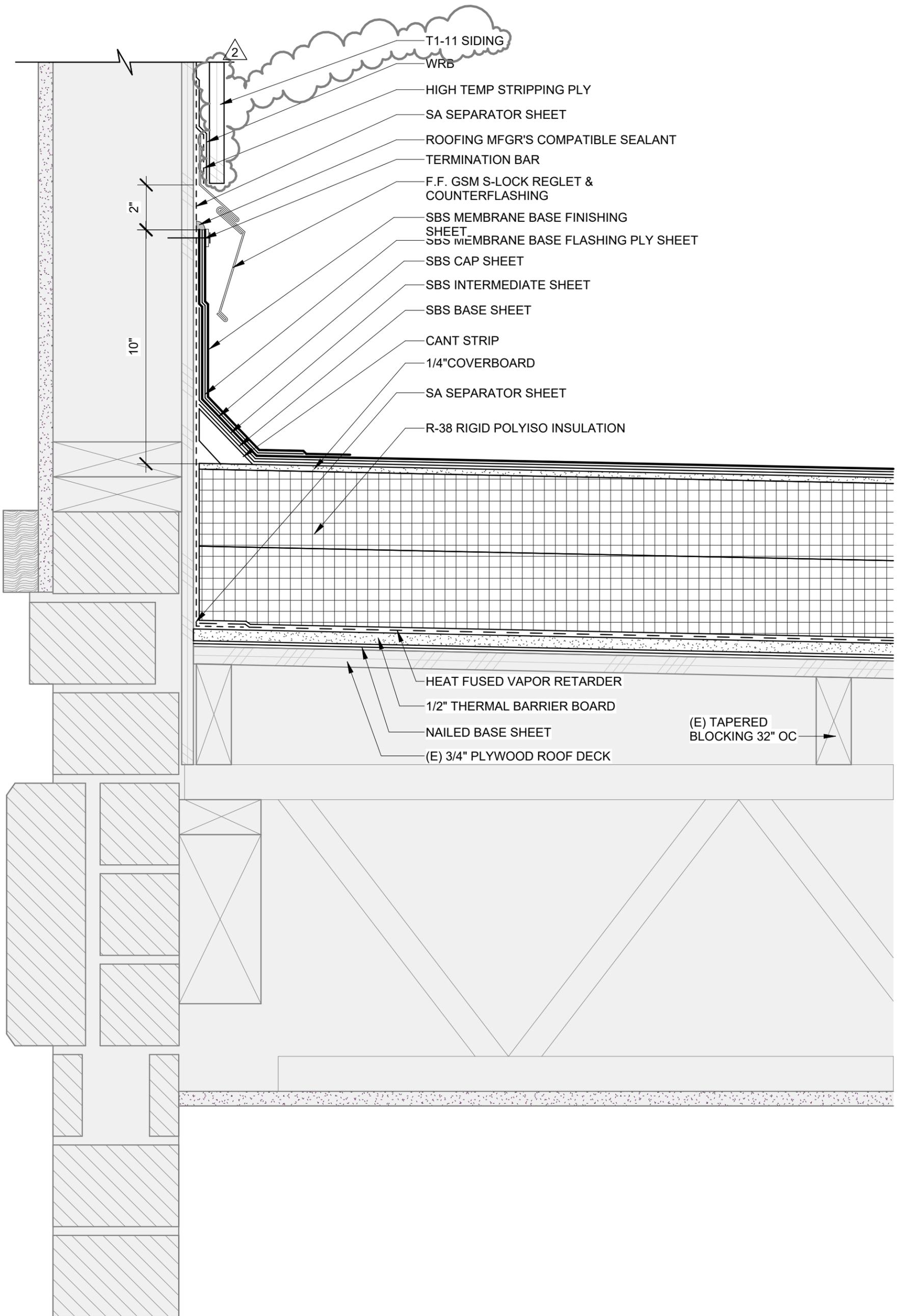
3 (E) ROOF TO WALL AT SIDING - DEMO 3/AD-3.2
 3" = 1'-0"



4220 REGISTERED ARCHITECT
 SCOTT M. STEMPER
 STATE OF WASHINGTON

ASK 2 - REFERENCE DETAIL 3/AD-3.2
 RAY WILLIAMSON POOL RENOVATION PHASE 1
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110

PIC SMS	BID SET PHASE 1 5/15/2024
PM LB	ASK 2 2208
DRW RS	



3 ROOF TO WALL AT SIDING -3/A-4.3
3" = 1'-0"

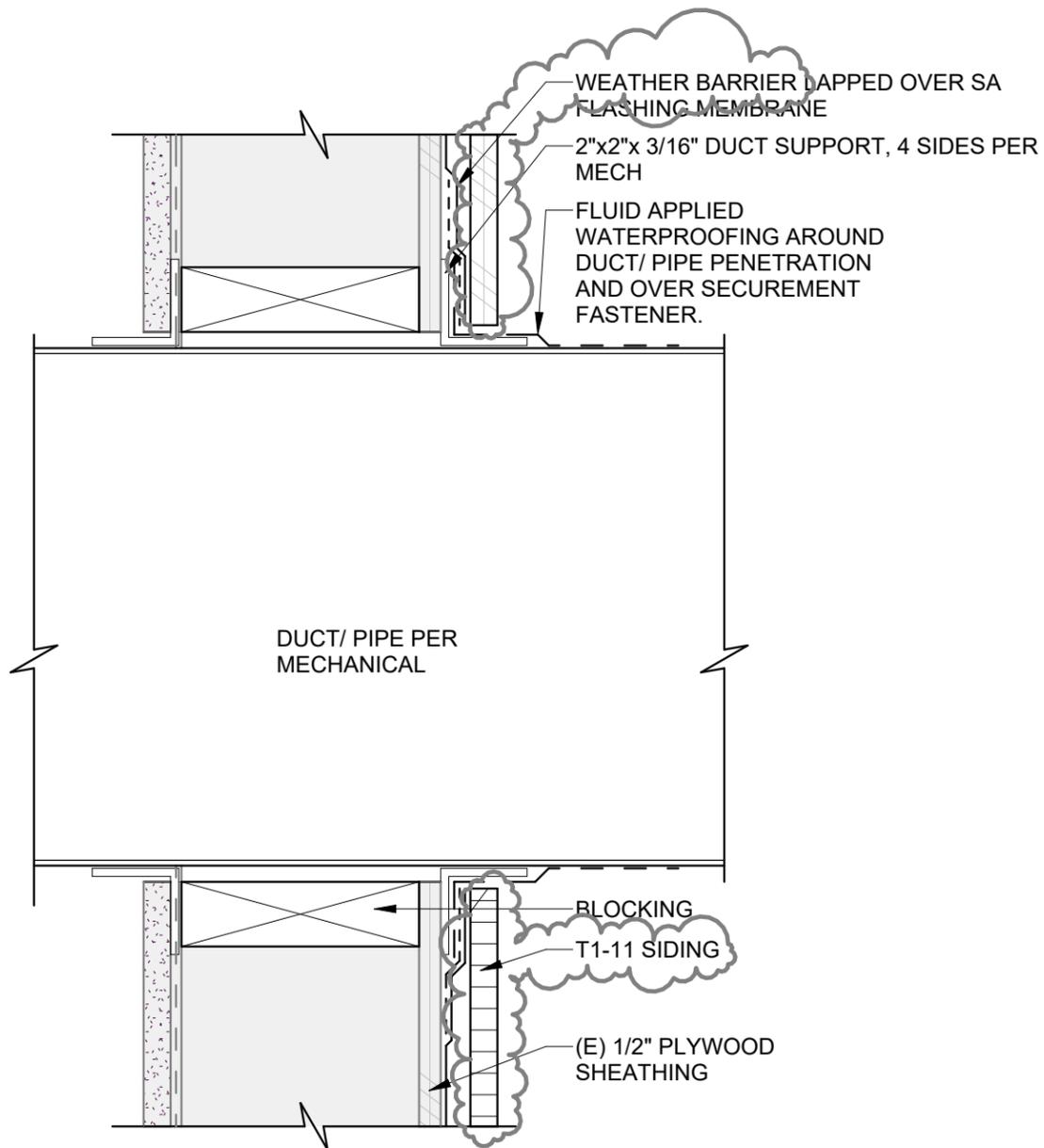


4220 REGISTERED ARCHITECT
SCOTT M. STEMPER
STATE OF WASHINGTON

ASK 3 - REFERENCE DETAIL 3/A-4.3

RAY WILLIAMSON POOL RENOVATION PHASE 1
8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

PIC SMS	BID SET PHASE 1 5/15/2024
PM LB	ASK 3 2208
DRW RS	



7 MECHANICAL WALL PENETRATION-7/A-4.6
 3" = 1'-0"



4220 REGISTERED ARCHITECT
 SCOTT M. STEMPER
 STATE OF WASHINGTON

ASK 4 - REF DETAIL 7/A4.6
 RAY WILLIAMSON POOL
 RENOVATION PHASE 1
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110

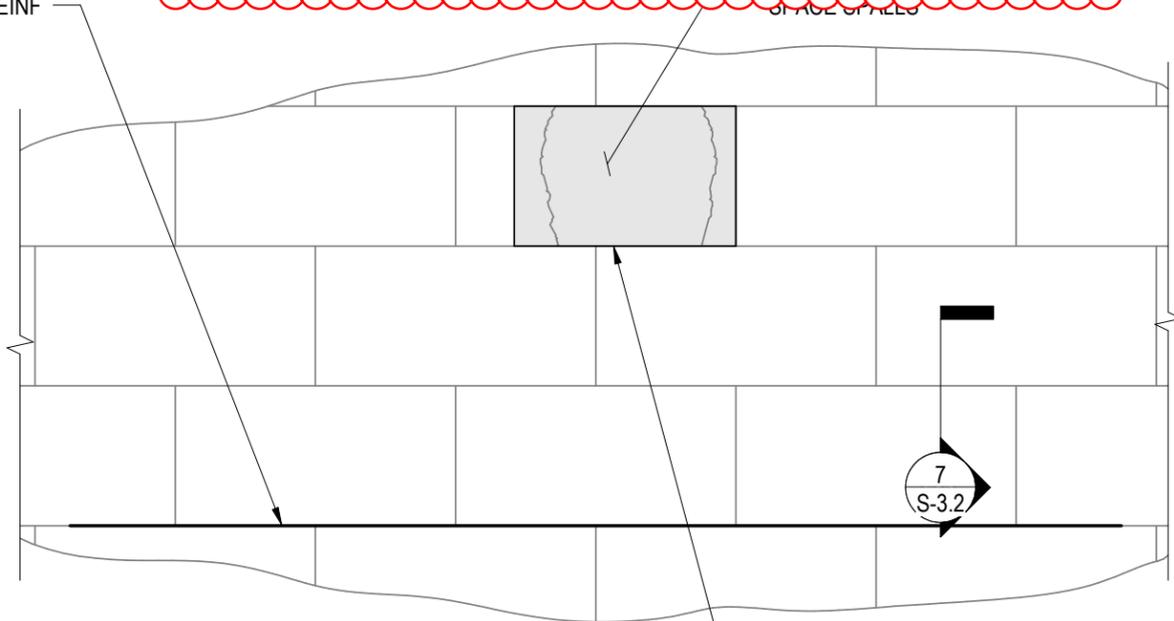
PIC SMS	BID SET PHASE 1 5/15/2024
PM LB	ASK 4 2208
DRW RS	

1

DETAILS 2 & 6 QUANTITIES: ALLOW FOR REPAIR OF 120 BRICK FACES TOTAL IN PROJECT, INCLUSIVE OF EXTERIOR & INTERIOR PORTIONS OF BUILDING (CONFIRM LOCATIONS WITH PROJ. REP.) PROVIDE CLEANING OF LAITANCE AND STAINS AT THE ENTIRE EXTERIOR AND EXPOSED SURFACES OF THE INTERIOR OF BRICK.

PROTECT EXISTING GAS PIPING, WHERE OCCURS, AS SHOWN ON MEP DRAWINGS.

REPAIR EXPOSED K-WEB REINF



SEE 2/S-3.2 FOR CONC FACE CRACK AND SPALL REPAIR W/ COLOR AND TEXTURE MATCHED JOHN M90 CONC REPAIR MORTAR ON BOTH SIDES OF WALL

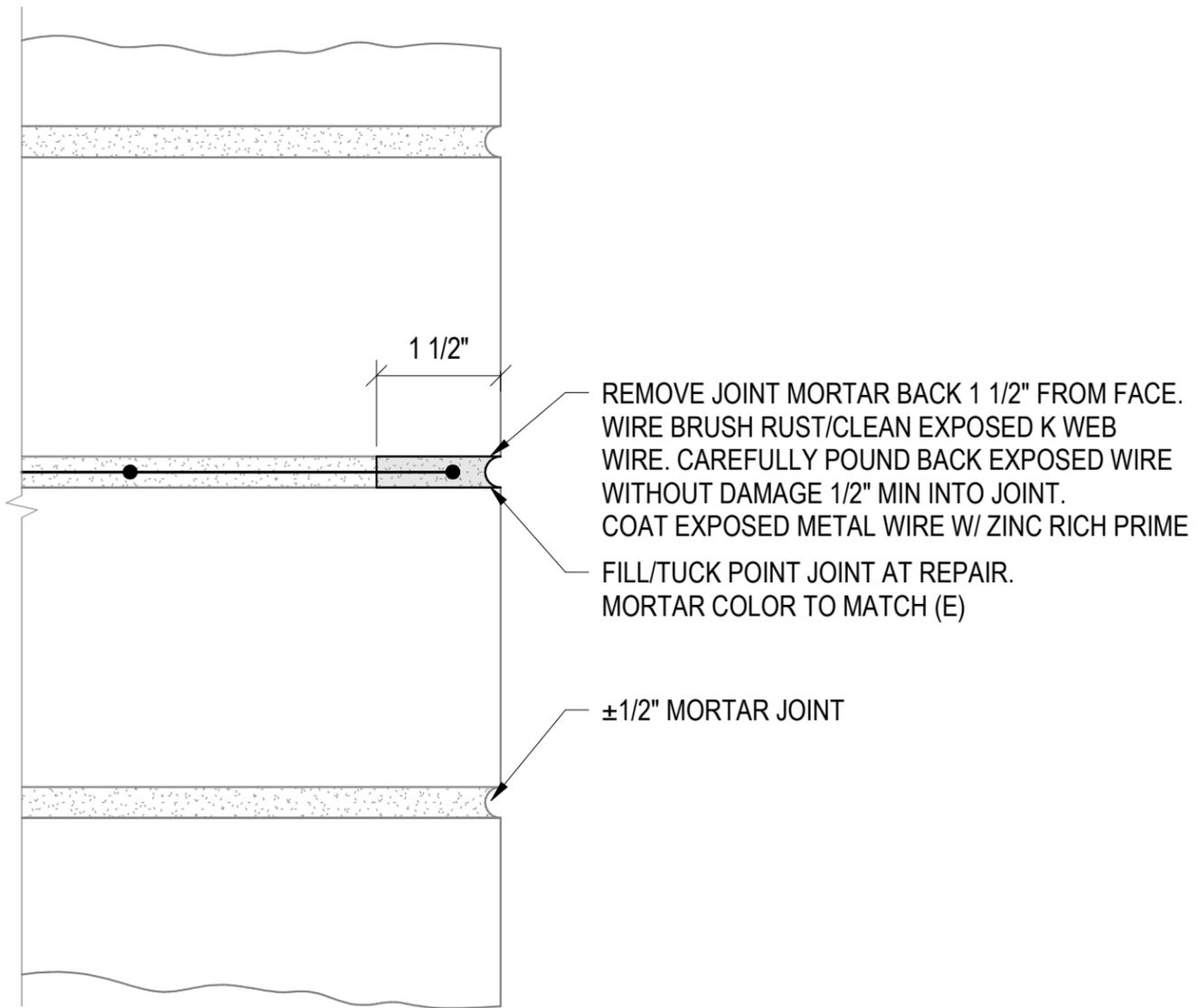
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EXTERIOR 2"x8" HOLLOW CORE BRICK/MASONRY REPAIR

SCALE: 1 1/2" = 1'-0"



CLARIFICATION OF BID QUANTITIES FOR CMU/BRICK RESTORATION RAY WILLIAMSON POOL RENOVATION PHASE 1 8521 MADISON AVENUE N BAINBRIDGE ISLAND, WA 98110	PIC MSL	BID SET PHASE 1 5/8/2024 SSK 1.1
	PM MSL	
	DRW	2208



7 K-WEB MORTAR JOINT REPAIR DETAIL

SCALE: 6" = 1'-0"

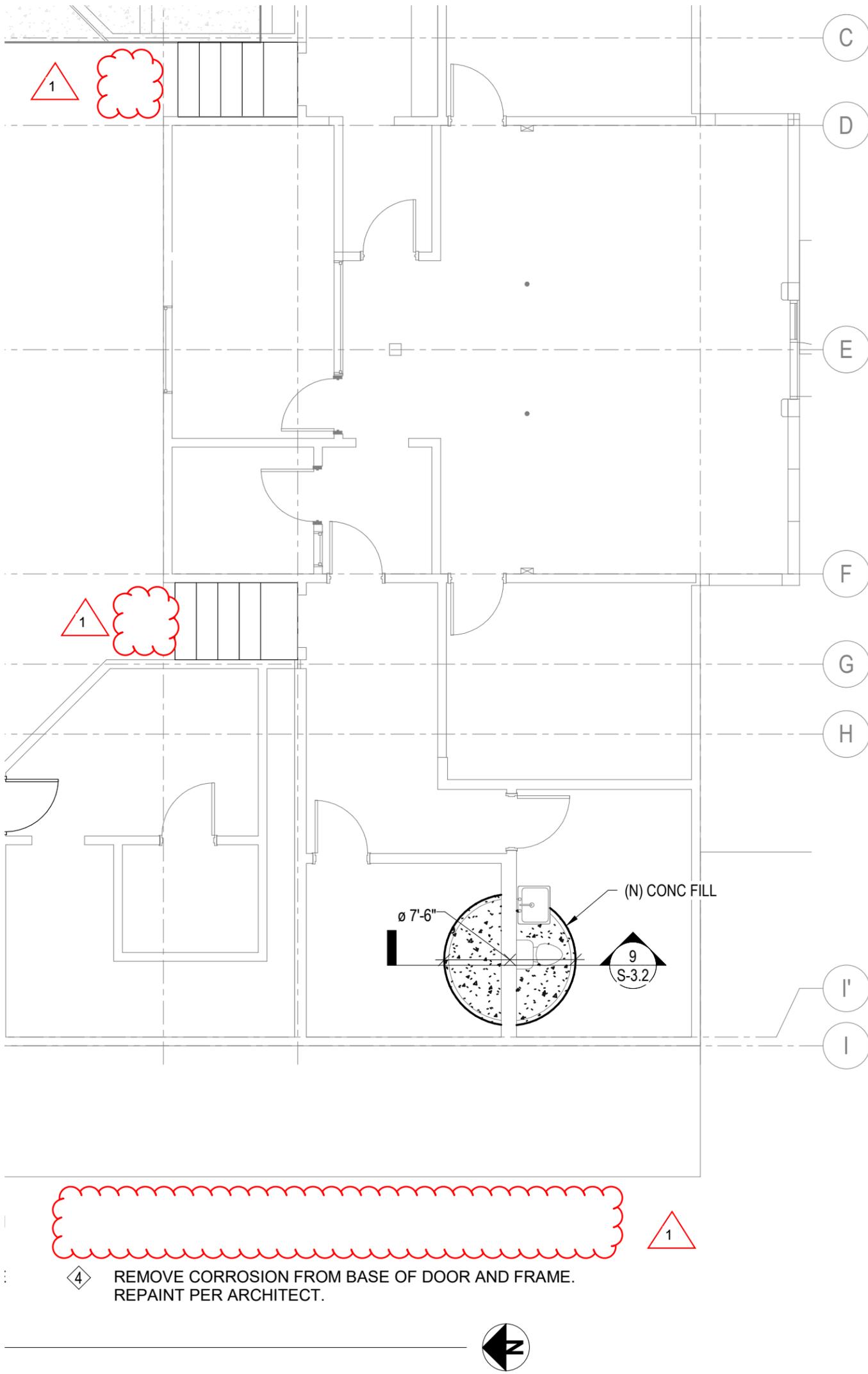
1

DETAIL 7 QUANTITIES: ALLOW FOR RE-POINTING OF 100% OF MORTAR JOINTS AT EXTERIOR & INTERIOR OF BLDG. ALLOW FOR REPAIR OF K-WEB AT EXTERIOR OF BUILDING AS FOLLOWS:

- * WEST ELEVATION: 100%
- * SOUTH ELEVATION: 50% (CONFIRM LOCATIONS WITH PROJ. REP.)
- * EAST ELEVATION: 50% (CONFIRM LOCATIONS WITH PROJ. REP.)



CLARIFICATION OF BID QUANTITIES FOR CMU/BRICK RESTORATION RAY WILLIAMSON POOL RENOVATION PHASE 1 8521 MADISON AVENUE N BAINBRIDGE ISLAND, WA 98110	PIC MSL	BID SET PHASE 1 5/8/2024
	PM MSL	SSK 1.2
	DRW	2208



RAY WILLIAMSON IMPROVEN
 8521 MADISON AVENUE N
 BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1 4/23/24

REVISIONS		
#		DATE
1	ADDENDUM	5/14/24

PROJECT ENGINEER ML
PROJECT MANAGER ML
DRAWN AB
1ST FLOOR PLAN

S-1.0
2022.133

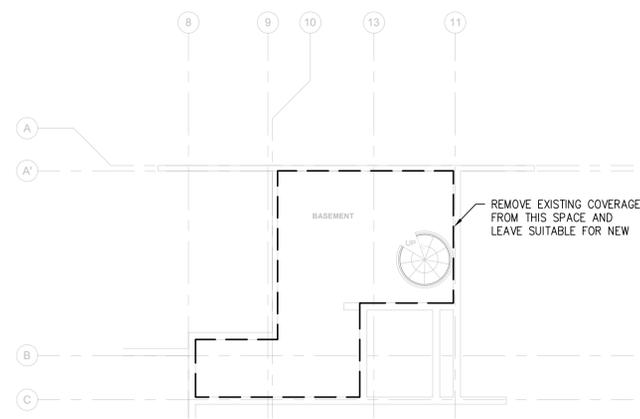


DELETION OF CONCRETE REPAIR WORK FROM PHASE 1 RAY WILLIAMSON POOL RENOVATION PHASE 1 8521 MADISON AVENUE N BAINBRIDGE ISLAND, WA 98110	PIC MSL	BID SET PHASE 1 5/8/2024
	PM MSL	SSK 1.3
	DRW	2208

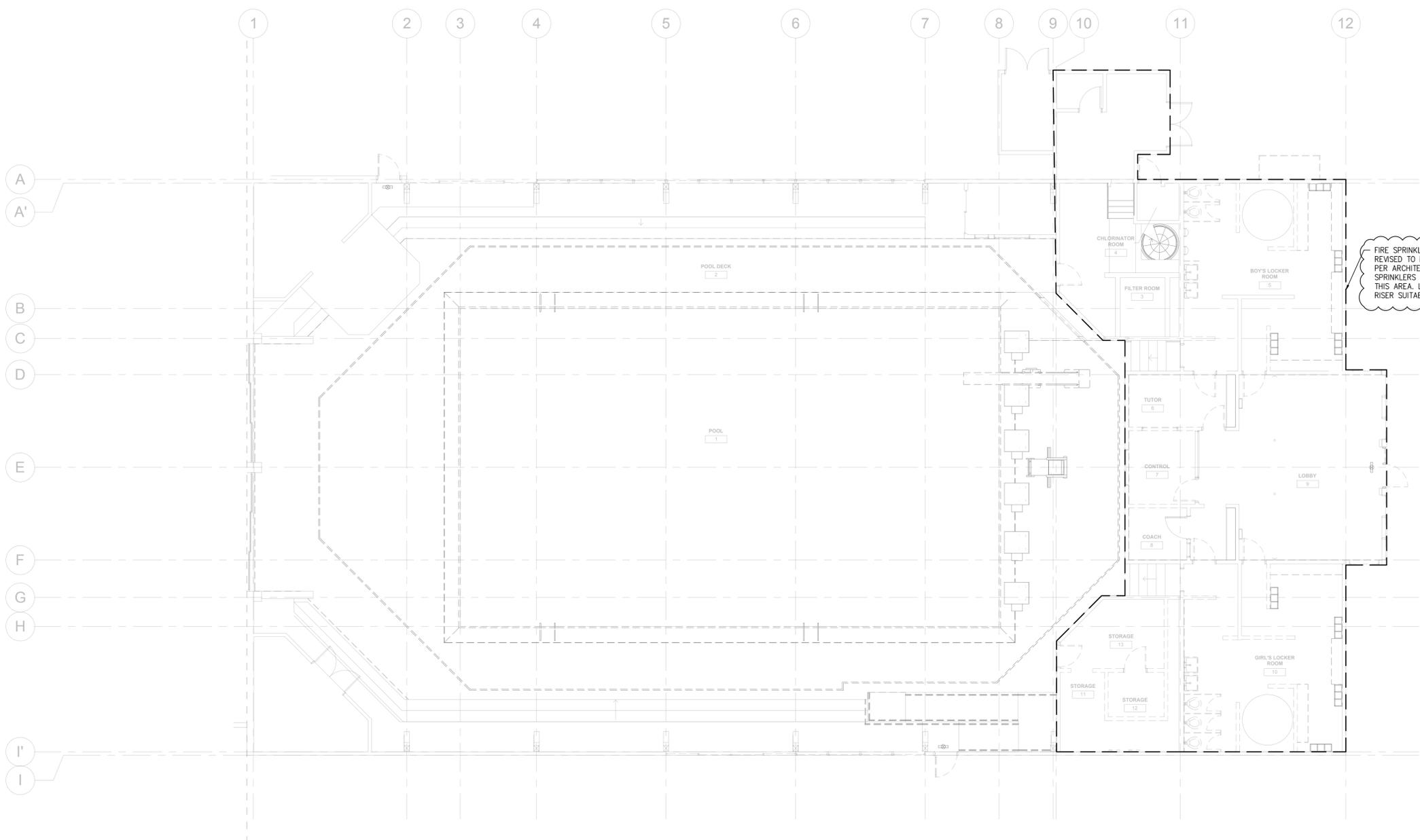


SHEET NOTES:

1. PIPING IS DIAGNAMATIC. PROVIDE FITTINGS AND OFFSETS AS REQUIRED TO AVOID WORK OF OTHER TRADES AND AS REQUIRED FOR A CODE COMPLIANT INSTALLATION.



1 BASEMENT FIRE PROTECTION DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR FIRE PROTECTION DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1 4-5-24

REVISIONS	
#	DATE
2	ADDENDUM #2 2024.05.14

PROJECT ARCHITECT
PROJECT MANAGER
DRAWN
FIRST FLOOR FIRE PROTECTION DEMOLITION PLAN

FD1.0
2208

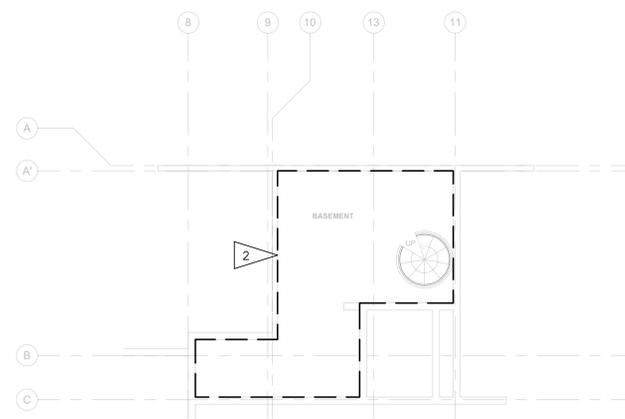


SHEET NOTES:

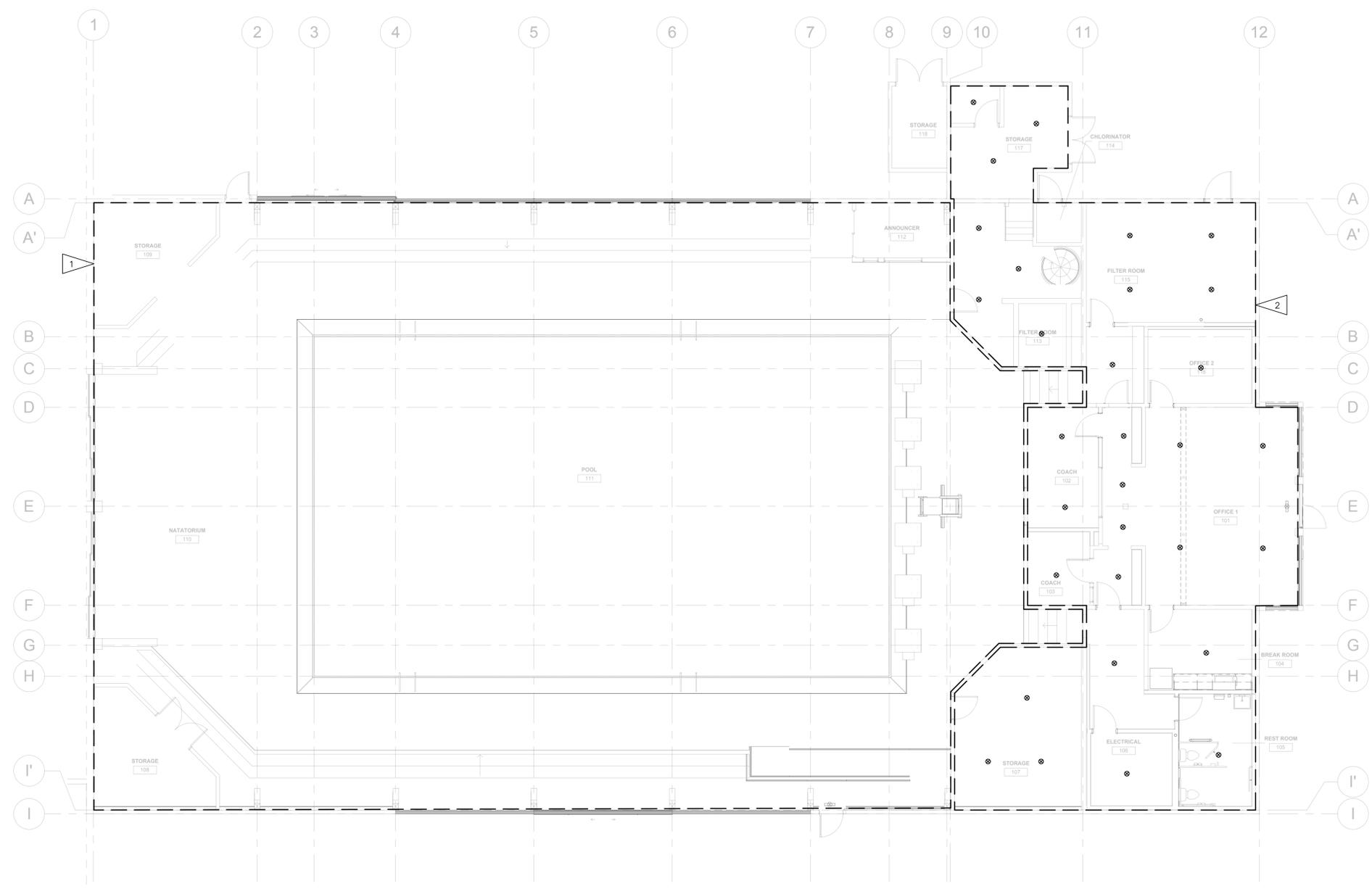
1. PIPING IS DIAGRAMMATIC. PROVIDE FITTINGS AND OFFSETS AS REQUIRED TO AVOID WORK OF OTHER TRADES AND AS REQUIRED FOR A CODE COMPLIANT INSTALLATION.

SHEET KEYNOTES:

- 1 EXISTING SPRINKLER PIPE TO REMAIN IN THIS AREA. ALL PIPE, EXPOSED OR CONCEALED, IN THIS AREA TO BE CLEANED AND REPAINTED FOR CORROSION PROTECTION.
- 2 ALL NEW SPRINKLERS AND SPRINKLER PIPE IN THIS AREA. PAINT FOR CORROSION PROTECTION PRIOR TO COVER.



1 BASEMENT FIRE PROTECTION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR FIRE PROTECTION PLAN
SCALE: 1/8" = 1'-0"

RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1 4-5-24

REVISIONS	
#	DATE
2	ADDENDUM #2 2024.05.14

PROJECT ARCHITECT
PROJECT MANAGER
DRAWN
FIRST FLOOR FIRE PROTECTION PLAN

F1.0
2208

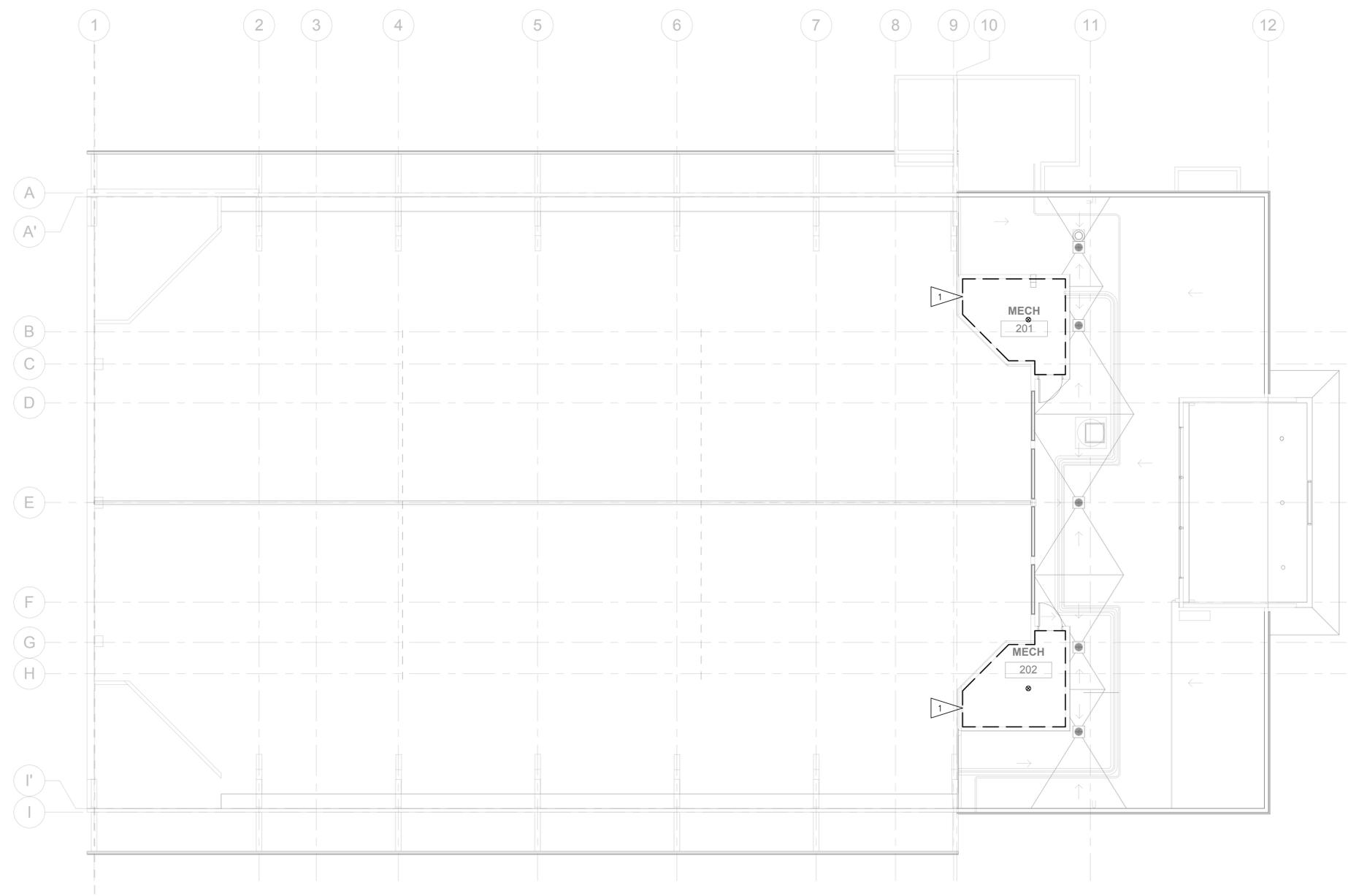


SHEET NOTES:

1. PIPING IS DIAGNAMATIC. PROVIDE FITTINGS AND OFFSETS AS REQUIRED TO AVOID WORK OF OTHER TRADES AND AS REQUIRED FOR A CODE COMPLIANT INSTALLATION.

SHEET KEYNOTES:

1. ALL NEW SPRINKLERS AND SPRINKLER PIPE IN THIS AREA. PAINT FOR CORROSION PROTECTION PRIOR TO COVER.



RAY WILLIAMSON POOL IMPROVEMENTS

8521 MADISON AVENUE N
BAINBRIDGE ISLAND, WA 98110

BID SET PHASE 1 4-5-24

REVISIONS	
#	DATE
2	ADDENDUM #2 2024.05.14

PROJECT ARCHITECT
PROJECT MANAGER
DRAWN
FIRE PROTECTION ROOF PLAN

F1.1
2208

1 FIRE PROTECTION ROOF PLAN
SCALE: 1/8" = 1'-0"

